

Key Components of the Mankas East Minor Use Permit

Record MU-25-13

**Submitted 10/15/25 to the
Solano County Department of
Resource Management –
Planning Services**



Project Description

A Project Description is required for preliminary review, land use entitlements, and other applications. A thorough, detailed, and quantified project description will facilitate a more efficient project review and permitting process, reduce processing timelines, and help ensure a well-designed project.

Describe the type of proposed development, land use, business, and any phases, changes, or alterations to the property or building and intent or objective of your proposal.

Please see the 22-page project description as attached to this page.

Manka's East Minor Use Permit Application

Project Description

October 14, 2025

I. Project Context and Vision

This Minor Use Permit application pertains to the 0.96-acre property referred to as “Manka’s East” located at 2525, 2527 and 2529 Mankas Corner Road and 4920 Clayton Road. Manka’s East is the cornerstone of the broader “Area Plan” which also encompasses the 15-acre property at 2515 and 2477 Mankas Corner Road (see Proposed Area Plan Sheet **C4**). Future plans for the 15-acre property have not been completed and are not a part of this application.

Manka’s Partners LLC is a family-owned entity of local resident Mark D. Hall, a thirty-year resident of Suisun Valley. Guided by a passion for Suisun Valley and it’s Agricultural Heritage, Mark’s goal is to preserve and enhance the character of Manka’s Corner, to keep it’s rural character intact, while improving the quality of the local experience for visitor’s to the Valley, and to improve the property in a way that lifts the value and desirability of the area for the benefit of local residents.

The Manka’s East project takes inspiration from the Valley’s utilitarian past. Its design echoes the early 20th-century filling station—circa 1910—that once served Model T’s, Model A’s, and farm vehicles traveling the region. This legacy is reflected in the proposed Suisun Valley Filling Station (“Filling Station”). Also, along the lines of a locally serving “Corner Market”, the Farmer’s Closet general merchandise store will feature local produce and prepared foods, as well as apparel, accessories, and locally themed gifts and “swag.” Further the new addition of a “historical replica water tower” will reinforce the early 20th century rural / industrial aesthetic. The water tower element has been added to create a sense of place, and to act as a beacon of rural values for Suisun Valley.

Looking to the present, the project integrates a contemporary drive-through convenience-style kiosk building finished in a country style architectural esthetic, a comfort food country-style restaurant, and the minimalist Wild Oak Wellness building, set within an expansive landscaped “meadow.” Together, these elements link past and present, weaving a unified story of progress, character, and continuity.

Lastly, in its efforts to promote the “authentic” Suisun Valley, Manka’s Partners LLC will be collaborating with Suisun Valley’s famed Glashoff Family, to establish portions of the Manka’s East project as an open air “art gallery” of Chad and Phil Glashoff’s metal sculptures. After many decades of practice, the Glashoff Family is winding down their

artistry efforts. This calendar year, they will hold their very last art show, traditionally held at the Glashoff Sculpture ranch at the end of Williams Road. The project applicant is intending to acquire a large portion of the Glashoff art collection and feature it throughout the Manka's East project grounds. Due to the unique and unusual nature of Glashoff art, it is problematic to render exactly what this is going to look like, within this application. The process of integrating the artwork into the project is iterative and will be handled "in the field." However, the general concept is to bring some of the eclectic "funkiness" to the visual experience of the Manka's East project, through the integration of Glashoff art throughout the project. There is possibly nothing that says "Authentic Suisun Valley" more than Glashoff Metal Sculpture. It can be found as the mascot of Suisun Valley Elementary School for many years (the Green Dragon), and on several mailboxes throughout the Valley, as well as in private collections throughout the region. We see the "Manka's East Glashoff Art Spectacular" as a unique attraction for visitors of Suisun Valley to experience.

II. Introduction and Intent

Manka's Partners, LLC is proposing a variety of structural and site improvements at 2525, 2527 and 2529 Manka's Corner Road and 4920 Clayton Road (APNs 0151140050 and 0151140060 which are legal in combination), a 0.96-acre property referred to as "Manka's East." Refer to Site Plan Sheet **C1**, Existing Site Plan which shows current conditions. The property was previously subject to County Use Permit No. U-19-03.

The property is designated in the Solano County General Plan as Agriculture and Neighborhood Agricultural/Tourist Center, zoned Agricultural Tourist Center (ATC), and located within the Manka's Corner ATC area established by the Suisun Valley Strategic Plan (SVSP).

The original intent of this application was to address the issues with the non-compliant performance stage on-site but has evolved to include broader improvements to the property, enhancing its agritourism offerings and overall economic productivity and improving infrastructure. To achieve these goals, the applicant is submitting this Minor Use Permit (MUP) application for the County's consideration.

The following discussion outlines the key components of the Manka's East MUP application as reflected in the accompanying site plan sheets, as referenced herein:

A. The Suisun Valley Filling Station, 2529 Mankas Corner Road; and The Farmers Closet Boutique & Proposed Market, 2525 Mankas Corner Road

The Suisun Valley Filling Station ("Filling Station") is host to a vintage gas station inspired tasting room providing locals and visitors with a friendly, hometown venue to sip wine and beer exclusively handcrafted in Solano County. A beloved gathering

spot for locals and a hidden gem for tourists, the Filling Station is proposing to expand to account for its success and to provide additional space for guests and musical acts. The Filling Station will continue to serve beer and wine and pre-packaged foods. This application proposes revised potential operating hours, which would extend from 8:00 am to 10:00 pm, seven days per week as part of this permit application. Specifically, the outdoor stage function would be limited to operate until 8:00 pm, or up to fifteen minutes after sunset, whichever is later, for usage which creates enhanced noise, such as live music. Quieter stage shows would be allowed to operate until 10:00pm. Thereafter entertainment and operations shall be limited to the indoor premises. This is to mitigate any noise impacts of outdoor entertainment activities by limiting this function to not later than early evening hours.

Proposed Architectural Style: The Filling Station is to be renovated in a retro-industrial style that draws inspiration from early 20th-century service stations while integrating modern hospitality elements. Refer to Site Plan Conceptual Rendering Sheets **RD1**, **RD2** and **RD3**. Key architectural characteristics include:

Historic Service Station References:

- The projecting canopy with bold green trim and “The Filling Station” lettering directly recalls vintage gas station forecourts.
- The round logo sign featuring a classic truck reinforces the nostalgic theme.

Materials & Colors:

- Cream-colored stucco walls with dark green accents highlight the utilitarian, streamlined look of early filling stations.
- Exposed structural elements, such as the canopy supports and outdoor railing, add to the industrial feel.

Form & Function:

- Retro pane glass storefront-style windows create openness and visibility, reminiscent of service bays, but adapted for social gathering spaces.
- Outdoor seating areas under the canopy extend the sense of community, the country environment that is so appealing to guests, and recall roadside stops where travelers once gathered.

Blended Aesthetic:

- While rooted in circa-1910–1930 filling station design, the building is adapted for contemporary use with modern finishes, café furniture, and lighting.
- The combination of retro nostalgia and modern hospitality design creates a welcoming destination that links Suisun Valley’s past to its present agri-tourism focus.

Business Function Change:

- Historically, the Filling Station has operated primarily as a bar with live local music operating on the stage a few nights per week. The newly imagined Filling Station will have a broader menu of experiences for guests at Manka’s Corner. Food Trucks will be eliminated and replaced with a collaboration with the adjacent newly established either “Valley Café’ or BBQ business,” which will serve food directly into the Filling Station premises via an on-line QR Code ordering system. Entertainment will be expanded. It is intended that a projector system will be incorporated under the newly constructed stage cover, which can be used to provide digital entertainment, including, but not limited to “movie nights,” sporting events, and visual backdrops for comedy, talent shows, dramatic productions, or other such events. The stage is constructed to be deeper than the existing facility and will include full height walls in the back and sides, and intermediate depth curtains for enhanced management of stage equipment and productions. The underside of the roof cover, and all walls will be finished in sound attenuating foam “Egg Crate” acoustic panels, to help dampen non-focused sound waves. The Filling Station will also include a much-needed expanded interior service counter and customer seating area, which will feature a gas fireplace in one corner. Back of house enhancements will include a walk-in cooler for wine storage and kegs and expanded dry storage and cleaning supply areas. Also included will be a new indoor performance area comprising roughly half of what was the former Johns Hauling and Antique’s retail sales floor. This space can double as seasonal storage space, preparation space for outdoor stage performances, and a second performance venue for later evenings, and in times of inclement weather.

Proposed Alcoholic Beverages and Entertainment Zone: The applicant desires to collaborate with Solano County to establish Manka’s Corner as an alcoholic beverages and entertainment zone under SB 969 - defined as “a zone created by a city, county, or city and county ordinance on or after January 1, 2025, that authorizes consumption of one or more types of alcoholic beverages on public streets, sidewalks, or public rights-of-way.”¹

With this zone established, the rights and core privileges of the Filling’s Station’s existing ABC license would change to allow families in the same space, due to the use of food from the restaurant, served into the outdoor venue.

Licensees within an entertainment zone can now legally permit consumers to carry open containers of alcohol off their premises and into the public zone—provided the local jurisdiction allows it and ABC notification is completed.

The area to be a part of the alcoholic beverages and entertainment zone is shown on the Proposed Area Plan (Sheet **C4**), and includes Manka’s East (0.96-acre), the 15-acre property at 2515 and 2477 Mankas Corner Road owned by the applicant; and the two parcels owned by Frank Vezer located at 2526 and 2522 Mankas Corner Road (APNs: 0026220020 and 0026220070 respectively).

The Farmers Closet Boutique currently offers a carefully curated selection of clothing, gifts, and gourmet pantry items. As part of this application, the business will broaden its offerings to become “**The Farmers Closet Boutique & General Market**” which will offer seasonal locally sourced fresh produce, prepared foods, gifts, and basic staples, alongside its current apparel and accessories—shifting toward a general mercantile concept reminiscent of traditional community stores.

Non-alcoholic beverages and pre-packaged foods will be on offer along with seasonal fresh produce. The Farmers Closet Boutique & General Market would operate daily from 8:00 am to as late as 9:00 pm. During the months of June, July and August retail sales hours may extend to 10:00 p.m. Retail sales would occur both indoors and outdoors. The existing two employees would continue to work here.

¹ The bill would additionally authorize any city, county, or city and county to establish an entertainment zone as defined above. Before enacting an ordinance to establish or modify an entertainment zone, the bill would require a city, county, or city and county to notify local law enforcement and request feedback about specific information, including, among others, the entertainment zones proposed boundaries and days and hours of operation. The bill would require a city, county, or city and county that establishes an entertainment zone, or its designated subordinate officer or body, to review the operation of the entertainment zone every 2 years following the adoption of the entertainment zone, as specified, and to make any reports produced during the review available to the department upon request.

https://calmatters.digitaldemocracy.org/bills/ca_202320240sb969

Proposed Architectural Style: The Farmers Closet storefront will feature a rustic, agrarian-inspired architectural style that reflects the area’s agricultural and historic character. The design will distinguish the facility as a separate storefront from the adjacent Filling Station—conveying the impression of a distinct building and enhancing the property’s overall “village” atmosphere. Refer to Site Plan Conceptual Rendering Sheets **RD2** and **RD6**. Key features include:

- **Materials:** The use of vertical wood siding and stone planter walls evokes the look of historic barns and rural outbuildings.
- **Roofline:** The simple shed-style roof and flat parapet create a utilitarian, no-frills appearance, in line with traditional farm structures. It is anticipated Glashoff Art will be mounted in and around the roof structure.
- **Façade Design:** The prominent wood-clad parapet with the “Farmer’s Closet” signage gives the building a barn-like frontage while allowing for modern branding.
- **Details:** Large glass entry doors add a contemporary retail feel, while the adjacent open-air produce display area, framed by metal supports and signage, reinforces the agricultural marketplace theme.

Proposed Improvements to the Filling Station & Farmers Closet:

- i. Remodel the existing building that contains the two businesses (the Filling Station and the Farmers Closet) and separate the existing structure by a two-hour fire wall into two buildings from a life safety / fire code standpoint. Multiple structures on each side of the fire wall are considered as a single building in accordance CBC 503.1.2. Each fire area does not exceed 3,000-sf and does not contain any exhibition or display room.
- ii. Expand the square footage of the existing Filling Station from 439-sf (plus the 74-sf restroom) to 2,092-sf of indoor space by utilizing the existing retail space immediately to the east (where the Farmer’s Closet is currently located) and by constructing a new indoor area that can serve as seasonal storage space, preparation space for outdoor stage performances, and a second performance venue for later evenings, and in times of inclement weather.
- iii. Move the existing 398-sf Farmer’s Closet retail space into the adjacent vacant retail space to the east, expanding its footprint to 1,007-sf of indoor retail space. A new outdoor covered area of 1,985 sf will be constructed to the east of the existing building to provide retail space for use during outdoor market sales. This covered area is intended to incorporate Glashoff Art mounted upon it, and in the plaza leading up to the front door.

- iv. Demolish the existing structurally unsound vacant 1,055 sf two-story dwelling unit, located behind the Filling Station, to make space for a new office, restrooms, a walk-in beverage refrigerator, and a storage area. Demolition of the vacant dwelling unit will occur as part of Solano County Demolition Permit #B2025-0287.
- v. Install a 2,687-sf uncovered outdoor seating area in front (to the north) of the Filling Station which would accommodate seating for up to approximately 185 people. The existing 297-sf covered outdoor seating area will remain. Up to five employees will work at the Filling Station on the busiest days with up to 290 customers at capacity.
- vi. Remove the existing non-compliant stage and construct a new 12” raised replacement stage (495-sf) just to the east, anchoring the outdoor space with sound absorbing walls and curtains. The asphalt in this area will be removed and replaced with a decomposed granite outdoor area finish.
- vii. Install a 12” raised deck adjacent to the stage (297-sf). The deck will accommodate approximately four tables and will include an accessible path.
- viii. Construct landscaping and architectural features consisting of concrete walls clad in rock or rock-like synthetic material, and fencing around the outdoor stage and seating area. Glashoff Art may also be installed in these areas.
- ix. Install landmark signage at the intersection of Mankas Corner and Clayton Roads announcing ones arrival at “Manka’s Corner.” Sculptures in keeping with the area’s historic and rural character will be placed in this area; ideally Glashoff sculptures will be installed.
- x. Replace the existing asphalt area located in outdoor covered area affiliated with the Filling Station with a decomposed granite finish. This area will contain some gas fired fire pits and outdoor tables and seating.
- xi. Install an entry feature for the Filling Station, located off of Mankas Corner Road, consisting of potentially a Glashoff art metal arched trellis with vines leading pedestrians into the property and also offering a dedicated place for ticket sales.
- xii. Install rail fencing generally along the perimeter of the property fronting onto Mankas Corner Road, in some cases atop concrete walls clad in rock or rock-like synthetic material. Security fencing will be installed on three sides of the outdoor market (to the front, rear and east side). Landscaping enhancements

will be integrated into the project site in key areas to provide for an attractive destination. Refer to the renderings provided.

- xiii. Locate a new covered trash enclosure (371-sf) with a new concrete trash pad behind the proposed restaurant, and in an enclosed building under the proposed water tower.

B. Proposed Wild Oak Wellness (WOW) Yoga Studio / 4920 Clayton Road

Wild Oak Wellness (WOW) is proposed to be more than a yoga studio. It is a nurturing community rooted in kindness, authenticity, and encouragement. WOW offers a space where “you are seen, supported, and celebrated.” “Come as you are, discover what you need, and leave with a deeper sense of calm, clarity, and connection.”

Proposed Services include:

- Yoga- Ashtanga Yoga, Yoga Sculpt, Yoga Flow, Yoga Rx, Somatic Yoga, Somatic Yoga with Sound Healing, Yin Yoga with Sound Healing, and Radiant Yoga
- Pilates
- Tai Chi- Basics and Flow
- Sound Baths
- WOWTalks- Education on nutrition, health, life-long wellness, mindfulness, creativity
- Plus, special events and workshops.

Proposed hours of operation are:

- Sunday- 8:00am-4:45pm
- Monday- Saturday 8:00am-8:30pm

Proposed Architectural Style: The WOW building is to be designed to embody a minimalist architecture style with farmstead-inspired details, creating a calm, welcoming, and nature-oriented atmosphere. Refer to Site Plan Conceptual Rendering Sheets **RD4** and **RD5**. Key details include:

- Form & Structure: The existing steel building is a single-story structure with a simple rectangular footprint, flat roof, and a minimalist frame. This streamlined form reflects a contemporary architectural approach that emphasizes function and clean lines.

- Materials & Colors: The design incorporates vertical metal “board-and-batten” siding in a deep green hue, complemented by a standing seam metal roof with muted reddish-brown trim elements. These choices give the building a subtle agricultural nod, echoing traditional farm structures while maintaining a sleek, modern finish.
- Fenestration & Openings: Large floor-to-ceiling windows and doors create a light-filled, open interior, characteristic of modernist design principles. The consistent vertical rhythm of glazing emphasizes simplicity and transparency.
- Details & Accents: The building signage uses a round emblem that blends rustic branding with modern aesthetics. The overhang supported by a slender steel or wood frame provides shade while reinforcing the linear, minimalist character of the building. The tall pole sign, visible to drivers and pedestrians from the street, has a vintage-inspired handcrafted aesthetic. The sign features an oval-shaped hanging panel supported by a curved wrought-iron-style bracket. This detail nods to traditional hand-forged sign brackets seen in historic towns, farmsteads, and rustic markets.
- Landscaping Integration: The setting integrates planters, barrel-style pots, and rustic fencing to tie the building into a rural or small-town context, softening the contemporary geometry with natural, agrarian elements. Lush lawns across the septic leach field, and Lavender plants along the fence line will finish off the extensive surrounding landscaping. Glashoff Art is anticipated to be mounted on stands throughout the lawn area, to encourage visitors to take a stroll through the art.

Proposed Improvements to the WOW building and environs:

- i. Paint and install new glass doors in the existing vacant approximately 1,200-sf steel building on Clayton Road for use as a yoga studio, known as “Wild Oak Wellness” or “WOW”. Install a new storefront, re-paint the exterior, provide a shade structure facade, and landscaping to replace the former gravel junk yard. Fencing and landscaping will be installed in front of the building to separate the head-in parking along Clayton Road from the business.
- ii. The septic leachfield will be moved from its current location behind (to the south of) the Filling Station and relocated to the field to the east of the WOW building.

Heavy equipment or materials shall not be stored over the leachfield, and no impervious materials shall cover the leachfield area. Property owner shall allow for routine inspections of the leachfield by County Environmental Health staff to ensure that the system is functioning properly. A complete discussion of the septic upgrades is described in more detail in Section E.2 below.

- iii. No more than two employees will work at the yoga studio at one time with up to 22 customers / practitioners. Classes would sometimes be conducted outdoors to take advantage of the favorable climate.

C. Proposed Restaurant Use at 2527 Mankas Corner Road

As part of this application, two alternative restaurant concepts are presented for the same siting while ownership determines the final tenant for the space. The following describes both options, with the intent of selecting one for construction.

The intent of both businesses, regardless of which one is chosen, is to provide a new restaurant offering at Manaks Corner catering to both locals and tourists alike.

Hours of operation would be from as early as 5:00 am to as late as 11:00 pm, seven days per week.

Option 1: Country Style BBQ Smoke House & Cafe

Architectural Style: The Country Style BBQ Smoke House and Café is a thoughtfully designed building blending modern, rustic, and industrial elements, creating a casual yet polished BBQ restaurant experience. The massing of the building includes elements of classic American diners, adapted to its rural location. Refer to Site Plan Conceptual Rendering Sheets **RD1**, **RD5** and **RD6**.

- **Facade & Materials:** The building features a mix of natural wood cladding on the upper facade and a neutral stucco exterior on the adjoining structures, giving it a rustic yet contemporary vibe. The corrugated metal parapet adds an industrial character, while the earthy tones evoke a warm, casual atmosphere.

- Windows & Doors: Large, evenly spaced rectangular windows and glass doors provide good natural light, a hallmark of modern design, while maintaining a straightforward, utilitarian look.
- Branding & Signage: The bold, block-letter signage has a clean, modern feel, contrasting with the rustic building materials for a balanced identity.
- Art: Glashoff Art may be installed at the roof cover over the open-air smokehouse section of the restaurant, and possibly over the rounded seating island on the southerly side of the building.

Proposed Improvements

- i. Demolish the existing vacant 1,308 square foot (sf) building, located at 2527 Mankas Corner Road on the southwestern portion of the site to make way for a new 2,438 sf structure for a full-service indoor dining Country style BBQ & Café.

Indoor seating would accommodate up to approximately 58 people. Up to 10 employees will work on the busiest days.

- ii. Construct a covered outdoor “Smoke House” and commercial kitchen area (491-sf) adjacent to the restaurant, generally to the north and enclosed with fencing. This area would contain outdoor National Sanitation Foundation (NSF) certified outdoor ovens, along with a “Santa Maria” style grill with hood and chimney. This outdoor covered and screened area would also be used to store dried wood.

Option 2: The Valley Café

Architectural Style: The Valley Café is a thoughtfully designed building blending modern, rustic, and industrial elements, creating a casual yet polished restaurant experience. The massing of the building includes elements of classic American diners adapted to its rural location.

- Facade & Materials: The building features a mix of natural wood cladding on the upper facade and a neutral stucco exterior on the adjoining structures, giving it a rustic yet contemporary vibe. The corrugated metal parapet adds an industrial character, while the earthy tones evoke a warm, casual atmosphere.

- Windows & Doors: Large, evenly spaced rectangular windows and glass doors provide good natural light, a hallmark of modern design, while maintaining a straightforward, utilitarian look.
- Branding & Signage: The bold, block-letter signage has a clean, modern feel, contrasting with the rustic building materials for a balanced identity.
- Art: Glashoff Art may be installed upon the roof over the rounded seating islands at either ends of the building.

Proposed Improvements

- i. Demolish the existing vacant 1,308 square foot (sf) building, located at 2527 Mankas Corner Road on the southwestern portion of the site to make way for a new 2,930-sf structure for full-service indoor dining branded as “The Valley Café.”
- ii. Indoor seating would accommodate up to 73 people. Up to 10 employees will work on the busiest days.

D. Coffee Kiosk & Drive-Thru

The intent of this new business is to provide a convenient drive-thru business for customers to quickly pass through either by car or on foot. Customers are expected to be both locals and those from outside of the area who work in Napa Valley, or work on Suisun Valley farms. Many of these people commute in the mornings through Manka’s Corner or drop their children off at Suisun Elementary.

The Coffee Kiosk would serve a limited menu of coffee, Tea, and espresso drinks and other non-alcoholic beverages and an assortment of grab and go foods. Hours of operation would be weekdays from 5:00 am to 11:00 am and weekends 6:00 am to 11:00 am. Its possible hours could be extended should customer demand be sufficient. Refer to Site Plan Conceptual Rendering Sheets **RD1, RD2, RD5 and RD6**.

Architectural Style: The proposed Coffee Kiosk has a rustic, agrarian-inspired architectural style with contemporary touches. Key features include:

- **Materials:** Natural-looking wood siding, corrugated metal panels, and a stone veneer base give it a handcrafted, rural feel.
- **Form:** A simple gable roof with extended eaves, echoing utilitarian farm buildings.

- The bold coffee signage and large, round coffee cup emblem add modern branding to the otherwise traditional design.

Proposed Improvements

- Construct an approximately 255-sf Coffee Kiosk with an approximately 284-sf of outdoor seating area (107-sf of which is covered). No more than two employees will work at the Coffee Kiosk at one time with customers being restricted to drive-thru or window walk up only.
- An adjacent outdoor seating area would be provided to accommodate customers who access the store via the walk-up window.
- Improve the fire lane / drive-thru lane located to the immediate south of the restaurant at 2527 Mankas Corner Road, pave with asphalt, to allow customers vehicular access to the Coffee Kiosk. This lane will be two vehicles wide allowing for a by-pass function as needed. Cars will travel one way, with access off of Mankas Corner Road behind the new restaurant and existing retail buildings, drive up to the kiosk to make their purchase, and exit on Clayton Road. The removal of the Manka's Corner monumentation signage in the road (as described in more detail later in Section E.1 below) will allow for unobstructed, convenient off-site access.
- A total of approximately 14-15 vehicles can queue up in the drive-thru lane with space for approximately six vehicles between the order board and the pickup window. Approximately eight (8) vehicles could queue between the order board and the entrance to the drive-thru. A pass around lane is provided in the event a vehicle needs to depart before ordering (the driveway is 20' wide plus 2' shoulders providing adequate space for the drive-up window, service, and designated fire access lane).

E. Other Site Improvements and Adjustments

1. Parking & Circulation Improvements

Parking Improvements

Parking at Manka's Corner has historically been problematic. The parking that is used for Manka's Grill and the Vezer Family Vineyards are located within the County right-of-way with only two stalls provided within the Vezer property. Without adequate parking provided here, coupled with the popularity of the Filling Station on

weekends, motorists park all along Clayton Road and Manka's Corner Road and are often parked on private property.

This project proposes to solve these parking problems, not only for the project site for Manka's Corner as a whole, by providing a total of 34 stalls (plus 10 motorcycle stalls) on-site and 49 stalls off-site (on private property owned by the applicant) totaling 83 spaces.

This combined with the 34 existing parking spaces designated for Manka's Grill, Vezer Family Vineyards and the Mercantile Building brings the available parking at Manka's Corner to 117 parking stalls; an improvement upon the 69 existing parking spaces currently provided at Manka's Corner (a total of 48 net new spaces plus 10 motorcycle stalls). This is summarized in the following table also found on Plan Set Sheet **C3**, Parking Plan.

<i>PARKING COMPARISON TABLE:</i>		
<u>PROPERTY</u>	<u>NUMBER OF EXISTING PARKING SPACES CURRENTLY PROVIDED</u>	<u>PROPOSED PARKING SPACES PROVIDED</u>
<u>MANKAS EAST THE FILLING STATION, FARMERS CLOSET, WILD OAK WELLNESS, COFFEE KIOSK, & CAFE</u>	27 PARKING SPACES	34 PARKING SPACES
<u>MANKAS NORTH PROPERTY - OWNED BY THE APPLICANT</u>	8 PARKING SPACES	49 PARKING SPACES
<u>MANKAS GRILL, VEZERS FAMILY VINEYARDS & THE MERCANTILE BUILDING</u>	34 PARKING SPACES	34 PARKING SPACES
<u>OVERALL NUMBER OF PARKING SPACES IN THE MANKAS CORNER AREA</u>	<u>69 TOTAL PARKING SPACES</u>	<u>117 TOTAL PARKING SPACES</u>

The County's parking regulations allow off-site parking "due to unusual circumstances" and in this case, off-site parking would help reduce pressure on both the project site and surrounding businesses, given the high visitor demand at Manka's Corner. A total of 41 off-site parking stalls are proposed on the applicant's 15-acre parcel across Mankas Corner and Clayton Roads (APN 0149180090) plus the eight (8) already in existence. Refer to Parking Plan Sheet **C3**.

Elaborating on the above summary, the specific circulation and parking improvements associated with this Minor Use Permit are described as follows:

- i. Install off-site parking including 16 head-in parking stalls on the west side of Gordon Valley Road between the existing trees and 25 head-in parking stalls on the north side of Clayton Road (for a total of 41 new stalls). The eight (8) existing

parallel parking stalls on the north side of Manka's Corner Road across from the Manka's Grill Steakhouse, are already owned by the applicant, as they are constructed entirely within applicants' private property. All parking will be on private property, and the owner will reserve the right to install private paid parking systems as a way to regulate unauthorized public parking on private property.

- ii. Along the perimeter of the project site, install 19 new head-in parking stalls along the South Side of Clayton Road and 10 new head-in parking stalls along the East side of Mankas Corner Road. The head-in parking stalls reflect the historically established parking layout and smalltown country feel at Manka's Corner.
- iii. On site, install two (2) new parking stalls located behind the WOW building and three (3) new stalls behind the Filling Station near the loading area.
- iv. Install a total of 10 paved motorcycle parking spaces on site immediately to the northwest of the restaurant with access provided immediately from Mankas Corner Road.

Parking Requirements

The following table (Table 1) summarizes the parking spaces provided for the previous use permit on the project site:

TABLE 1: PARKING SPACE REQUIREMENTS (previous use permit)					
Retail: 1 space per 200 square feet					
Assembly: 1 space per each 4 persons at capacity					
Name	Land Use	Sq. Ft.	Occ. Load	Req. Parking Spaces	Provided Parking
Suisun Valley Antiques	Retail	2,435	-	13	13
Simply Savvy	Retail	1,300	-	7	7
Filling Station	Assembly	-	20	5	5
Living Unit	Residential	-	-	2	2
TOTAL				27	27

While the parking requirements were met, the popularity of the Filling Station's live music events typically exceeded 20 persons on weekends causing patrons to park off-site and in some cases park on others private properties.

The proposed project's parking requirement is summarized below in Table 2 and is also described on Parking Plan Sheet **C3**.

TABLE 2: PARKING SPACE REQUIREMENTS Proposed Minor Use Permit				
• Retail: 1 space per 200 square feet • Assembly: 1 space per each 4 persons at capacity • Commercial Service Building, Storage Stock Area, and/or Commercial Kitchen: 1 space per 800 sf.				
Name	Use Type	Sq. Ft.	Occ. Load	Req. Parking Spaces
Restaurant* Use	Assembly	-	88	22
Restaurant* Use	Commercial Kitchen / Indoor employee space	1,301	-	2
Restaurant* Use	Office	161	-	1
Restaurant* Subtotal				25
Farmers Closet	Retail	2,592	-	13
Farmers Closet	Storage	227	-	1
Farmers Closet Subtotal				14
Filling Station	Assembly	-	68	17
Filling Station	Bar employee space and storage, stock area	416	-	1
Filling Station Subtotal				18
Live Music** at the Filling Station	Live Music Events Assembly	-	288	72
Live Music** at the Filling Station	Bar employee space and storage, stock	416	-	1

	area for Live Music Events			
Live Music** at the Filling Station	Including the 18 spaces for the Filling Station	-	-	- 18 (subtract)
Live Music Subtotal				55
Wild Oak Wellness	Retail	1,111	-	6
Wild Oak Wellness Subtotal				6
Coffee Kiosk	Assembly	-	19	5
Coffee Kiosk	Commercial Kitchen	221	-	1
Coffee Kiosk Subtotal				6
TOTAL PARKING REQUIRED with live music events				124
TOTAL PARKING REQUIRED without live music events				69

**Assume Valley Café alternative since it has a larger occupancy than BBQ alternative and therefore requires more parking.*

***A shuttle service shall be hired for live music events to transport people back and forth to the Suisun Valley Elementary School parking lot.*

Based on the above table, Solano County requires a minimum of 69 parking spaces to be provided for the proposed non-event businesses and 124 parking spaces when a live event is occurring at the Filling Station. In practical terms, during a live music event, there is the likelihood that not all of the businesses on-site will be open at the same time so there could be some additional spaces made available.

Circulation Improvements

- v. Remove, protect and relocate the existing three “Manka’s Corner” traffic calming monument signs. The monuments shall be re-located outside of the proposed parking areas to slow traffic down prior to entering the parking and pedestrian areas. Removal will allow for the previously described head-in parking and for easier access to the property to accommodate cars existing the site leaving the Coffee Kiosk. The monument relocation areas are shown on the Proposed Area

Plan Sheet **C4** and are moved to Gordon Valley Road, Clayton Road, and further away from the project site on Mankas Corner Roads. **Costs of moving all monument signs are to be borne by Solano County.**

- vi. Adjust the eastbound travel lane of Clayton Road to accommodate the previously mentioned 19 new head-in parking stalls along the South Side of Clayton Road.
- vii. Install one new stop sign at the intersection of Gordon Valley Road and Clayton Road in order to provide a three-way stop sign controlled intersection. This is to improve safety in the Manka's Corner area by preventing traffic from travelling around the existing blind corner without stopping, at a high rate of speed, as is currently witnessed.
- viii. The parking proposed for Gordon Valley Road, described previously, will not only provide the parking needed for visitors to Manka's Corner, but will also serve to slow traffic traveling south towards the 3-way intersection of Gordon Valley Road and Clayton Road.
- ix. Install a new pedestrian crosswalk at the intersection of Gordon Valley Road and Clayton Road to allow pedestrians to safely walk from the new parking stalls to the new and existing businesses.
- x. Construct on-site pedestrian pathways to allow for convenient and safe access from their parked motorcycles and cars along Mankas Corner Road and Clayton Road. The parking stalls shall be provided with an accessible 5'-6" wide asphalt pathway to the businesses.

2. Septic System Upgrades

- i. The existing septic system on the Manka's East site is sized to handle approximately 850 gallons/day, per Campi Engineering's 2017 "On-Site Wastewater Treatment System Site Evaluation Report" for the property.

Upgrades to the existing septic system are needed to accommodate the proposed project. Based on preliminary review by EX Wastewater Design, the primary septic system for the proposed project would be fully supported on the Manka's East property and can be accommodated to the east of the Wild Oak Wellness building (specifically on APN 0151140060 which is legal in combination with APN 0151140050).

The leach field line will run in front of the WOW building to access the leach field and will be designed in coordination with the storm drainage system. See also the discussion on storm drainage improvements below in Section 3. “Other Infrastructure Improvements.”

Given there is no additional room on the property to support the County required reserve area - the applicant’s 15-acre parcel across Mankas Corner and Clayton Roads (APN 0149180090) would accommodate the septic reserve area as shown on the Site Plan (Seet **C2**). Nothing would need to be installed at this property until such time it would be needed.

- ii. **Existing Septic System and Proposed Improvements:** Based on Solano County Environmental Health records, the original septic system for this property was installed in 1977. New leach lines were added in 1981 totaling approximately 420 lineal feet. An inspection of the existing septic system was completed in 2016, and no evidence of system performance issues were noted.

The proposed Manka’s East project will utilize a completely new onsite wastewater treatment system (OWTS) with capacity to effectively treat and disperse of approximately 2,500-2,750 gallons per day (GPD) of wastewater on the property. The OWTS will be designed to not only meet the current standards per applicable local regulations, but will in fact exceed those minimum standards. This is accomplished by incorporating stringently tested pretreatment technologies which will significantly reduce biological oxygen demand (BOD), total suspended solids (TSS), and nitrogen reduction, critical in protecting local groundwater resources. Wastewater will be time-dosed to a subsurface drip dispersal field maximizing evapotranspiration and nutrient uptake in the upper biologically active soil horizons. The OWTS will be maintained by a local Service Provider ensuring long term functionality and compliance with local regulatory requirements.

- iii. **Water & Wastewater Analysis:** As a preliminary exercise in understanding existing wastewater generation onsite based upon current uses, water usage data was compared to real-time site visitation data. Water usage data was estimated using Suisun water district monthly billing statements, which were used to extrapolate an average daily/weekly water usage. Visitation data was estimated using facility “transaction” records which generally coincide with the number of customers. It should be noted that one transaction could potentially cover more than one person, which could provide a potential under-estimation of daily visitors.

As shown in the Wastewater Feasibility analysis table below, estimated daily water usage is approximately half of what would be expected to be generated as wastewater using Solano County Chapter 6.4 -87, Table 4 “Projected Daily Sewage Flow” (Wine Tasting Facility - no meals served – 3 gal/day/person). While this data is not exact, it provides meaningful information to assist with future project visitation and projected wastewater generation onsite, and should provide additional comfort that the new septic design will be more than adequate to accommodate project needs.

Mankas East - Minor Use Permit Modification - Wastewater Feasibility

Preliminary Peak Wastewater Sizing Calculations			
Mankas East Staff	# Staff/Visitor	Gallons/Day per Type	Daily Wasteflow
Filling Station Staff	5	20	100
Coffee Kiosk Staff	2	20	40
Cub's Café & BBQ Staff	10	20	200
Farmers Closet Staff	2	20	40
Yoga Instructor	1	20	20
Mankas East Visitors	# Visitors	Gallons/Day per Type	Daily Wasteflow
Filling Station	200	3	600
Cub's Café & BBQ	100	15	1500
Yoga Customers - No Public Restrooms (Assume 10% people/day use restroom)	30	3	9
Farmers Closet/Farmers Market Visitors - No Public Restrooms (Assume 10% people/day use restroom)	150	3	45
Other Sizing Factors	Units	Gallons/Day per Type	Daily Wasteflow
Coffee Kiosk Drive Thru - Coffee Prep Wastewater	1	50	50

Total Staff/Day	20
Total Visitors/Day	480
Total Wasteflow/Day	2604

Onsite Wastewater Treatment System - Subsurface Dripfield Sizing Calculations			
Peak Est. Wastewater Flow (Gallons/Day)	Design Soil App. Rate (Gal./Sq. ft./Day)	Primary Dispersal Area Required (sq. ft.)	Reserve Dispersal Area Required (sq. ft.)
2604	0.55	4735	9469

Soil Testing Field Data			
Soil Application Rate based on Soil Texture (Gal/sq.ft./day)	SiL - S/blk: 0.417	Soil Application Rate based on Percolation Test (Gal/sq.ft./day)	Avg. 32.2 min/inch: 0.55

3. Other Infrastructure Improvements

- i. Install a new 4,000-8,000-gallon elevated (60-70' tall) water tower using the covered trash enclosure behind the Filling Station as the base. The water tank will provide both potable water storage, which can also be used to serve an on-site fire hydrant supplementing tanker truck capacity in the event of a fire, and will enhance the character of the site - adding landmark monumentation to Manka's Corner reading "Suisun Valley."
- ii. It is the applicants intent to work with the County and the utility providers to underground some of the utility lines at Manka's Corner. The power and phone lines coming off the pole on the north side of the intersection of Mankas Corner Road and Clayton Road, which extend up Clayton along the project frontage – would be undergrounded via a trench along the project frontage and between the pole at the intersection, and the pole at our easterly point of the property near the intersection of Gordon Valley Road and Clayton Road.
- iii. In a later phase of work (not a part of this application), it is the applicants intent to work with the County and the utility providers to underground the power and phone lines along Mankas Corner Road stretching from the southerly boundary of what constitutes the Manka's Corner neighborhood, to the westerly boundary beyond the access drive to the Mansion (per the red boundary lines shown in the image below).



- iv. **Storm Drainage Improvements.** Runoff from the hillside behind the property will be collected and conveyed through an underground pipe to a catch basin at the corner. From there, it will continue beneath the intersection (with a new culvert) to a retention basin located on the applicant's property across the street.

To further increase capacity and reduce flooding, a second storm drainpipe will be installed beneath Clayton Road. This improvement is designed to accommodate peak flow rates, addressing the intersection's current flooding issues.

Together, these measures will mitigate both existing runoff impacts and those associated with the proposed project, which will add a net increase of 22,826 square feet of impervious surface area (refer to *Proposed Stormwater Control Plan*, Sheet **C5.1**).



MANKA'S EAST MINOR USE PERMIT PLANS

PROJECT ABBREVIATIONS:

A.B.: Anchor Bolts
ABW: Alternate Braced Wall
AFCI: Arc Fault Circuit Interrupter
A.F.F.: Above Finish Floor
ALT: Alternate
BLDR: Person responsible for constructing the project builder can also be a owner or contractor.
BLK/BLDG: Solid Blocking
BTM: Bottom
BW: Braced Wall
CL: Center Line
CLR: Clearance
CONST: Construction
CONT: Continuous
DBL: Double
DIA Ø: Diameter
DWG: Drawings
(E): Existing
EA: Each
EL: Elevation
ENG: Engineer
EXT: Exterior
FIN: Finished
FLR: Floor
J.G.D.: James George Design
GFCI: Ground Fault Circuit Interrupter
GLB: Glue Lam Beam
GR: Grade
H.H.: Header Height @ Top of window rough opening & Bottom of header
HORIZ: Horizontal
HDR: Header
JST: Joist
M.B: Machine Bolts
MIN: Minimum
MAX: maximum
Misc: Miscellaneous
MFG: Manufacture
(N): New
N.I.C.: Not in Contract
N.T.S.: Not to Scale
O.C.: On Center
PERP: Perpendicular
PL: Property Line
PTDF: Pressure Treated Douglas Fir
REINF: Reinforcement
(R): Removed
SIM: SIMILAR
SL: SLOPE
SOG: Slab on Grade
SPL: Splice
SSD: See Structural Drawings
STD: Standard
STL: Steel
SW: Shear Wall
T & B: Top & Bottom
T.O.S.: Top of Slab
T.O.W.: Top of Wall
TYP: Typical
U.N.O.: Unless Noted Otherwise
VERT: Vertical

BUILDING CONSTRUCTION TABULATION:

EXISTING BUILDING AREAS:

REFER TO SHEET FLR 1 FOR THE EXISTING BUILDING FLOOR PLANS

- TOTAL ENCLOSED SPACE = 6,599 SQ FT - ALL BUILDINGS
- TOTAL COVERED SPACE = 297 SQ FT FILLING STN. COVERED SEATING
- [E] RETAIL BUILDING = 1,308 SQ FT SEE SHEET FLR 1
 - [E] SHOW ROOM = 1,101 SQ FT
 - [E] STORAGE ROOM = 307 SQ FT
- [E] FILLING STATION / FARMERS CLOSET BLDG = 3,996 SQ FT ENCLOSED
 - [E] FILLING STATION CONDITIONED SPACE = 439 SQ FT
 - [E] RESTROOM = 74 SQ FT
 - [E] APARTMENT CONDITIONED SPACE = 1,053 SQ FT
 - [E] LOWER LEVEL = 538 SQ FT
 - [E] UPPER LEVEL = 527 SQ FT
 - [E] APARTMENT OUTDOOR STORAGE CLOSET = 20 SQ FT
 - [E] APARTMENT LAUNDRY ROOM 95 SQ FT
 - [E] FARMERS CLOSET INVENTORY, RETAIL & STORAGE = 2,010 SQ FT
 - [E] FARMERS CLOSET RETAIL SPACE = 398 SQ FT
 - [E] FILLING STATION COVERED OUTDOOR SEATING = 297 SQ FT

■ [E] METAL INVENTORY & RETAIL BUILDING = 1,200 SQ FT

PROPOSED BUILDING AREAS:

PROPOSED FILLING STATION & FARMERS CLOSET BUILDING

REFER TO SHEET FLR 2 FOR THE FLOOR PLANS

- PROPOSED ENCLOSED AREA ADDITION FOR RESTROOMS, OFFICE, & STORAGE = 105 SQ FT SQ FT
- PROPOSED PORCH / COVERED MARKET ADDITION = 1,985 SQ FT SQ FT
- PROPOSED TOTAL NEW ENCLOSED BUILDING SIZE NEW + EXISTING = 4,101 SQ FT SQ FT
- PROPOSED TOTAL COVERED PORCH SIZE NEW + EXISTING = 2,282 SQ FT SQ FT
- PROPOSED ALTERATIONS = 1,380 SQ FT
 - DEMO [E] APARTMENT UPPER LEVEL = 527 SQ FT
 - CONVERT THE [E] LOWER LEVEL LIVING UNIT INTO STORAGE, AN OFFICE & RESTROOMS = 521 SQ FT
 - FILLING STATION ENLARGE THE EXISTING BAR = 109 SQ FT
 - FARMERS CLOSET CONSTRUCT NEW COUNTER SPACE = 223 SQ FT

PROPOSED NEW COFFEE KIOSK BUILDING:

REFER TO SHEET FLR 3 FOR THE FLOOR PLAN

- TOTAL ENCLOSED SPACE = 255 SQ FT
- TOTAL COVERED PORCH SIZE = 107 SQ FT

PROPOSED NEW CAFE BUILDING OPTIONS

REFER TO SHEET FLR 4 FOR THE FLOOR PLAN OPTIONS

- CAFE OPTION TOTAL ENCLOSED SPACE = 2,769 SQ FT
- CAFE, BBQ, & SMOKE HOUSE OPTION TOTAL ENCLOSED SPACE = 2,277 SQ FT
- CAFE, BBQ, & SMOKE HOUSE OPTION TOTAL COVERED PORCH / BBQ / SMOKE HOUSE SPACE = 491 SQ FT

PROPOSED NEW TRASH ENCLOSURE:

REFER TO SHEET FLR 2 FOR THE FLOOR PLAN

- [E] WILD OAK WELLNESS (WOW) BUILDING: 1,200 SQ FT

REFER TO SHEET FLR 3 FOR THE FLOOR PLAN

- PROPOSED NEW COVERED STAGE / GAZEBO: 495 SQ FT

REFER TO SHEET FLR 3 FOR THE FLOOR PLAN

- PROPOSED NEW RAISED DECK: 297 SQ FT

REFER TO SHEET FLR 3 FOR THE FLOOR PLAN

PROPOSED TENANT / BUSINESS SPACES:

WILD OAK WELLNESS (WOW):

4920 CLAYTON ROAD, FAIRFIELD, CA 94534
TOTAL INDOOR RETAIL SPACE: 1,200 SQ FT
REFER TO SHEET FLR 3 FOR THE FLOOR PLAN

COFFEE KIOSK

T.B.D. CLAYTON ROAD, FAIRFIELD, CA 94534
PROPOSED CURRENT LIVING UNIT ADDRESS TO BE ASSIGNED TO THE COFFEE KIOSK
TOTAL ENCLOSED SPACE = 255 SQ FT
TOTAL COVERED PORCH SIZE = 107 SQ FT
REFER TO SHEET FLR 3 FOR THE FLOOR PLAN

FARMERS CLOSET BOUTIQUE & MARKET:

2525 MANKAS CORNER ROAD, FAIRFIELD, CA 94534
TOTAL INDOOR RETAIL SPACE: 1,007 SQ FT
TOTAL OUTDOOR COVERED MARKET SPACE: 1,985 SQ FT
REFER TO SHEET FLR 2 FOR THE FLOOR PLAN

THE SUISUN VALLEY FILLING STATION

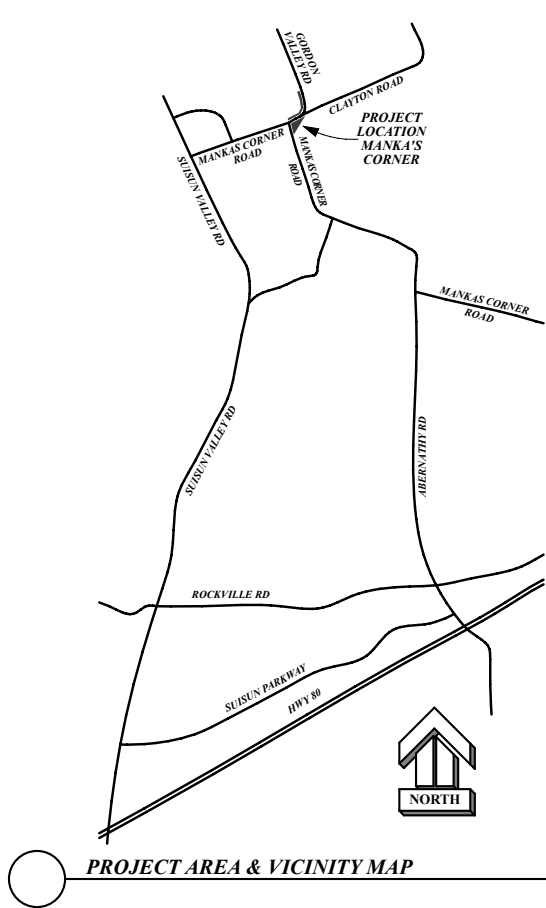
2529 MANKAS CORNER ROAD, FAIRFIELD, CA 94534
TOTAL INDOOR ENCLOSED SPACE: 2,092 SQ FT
TOTAL OUTDOOR COVERED SEATING AREA: 297 SQ FT
TOTAL GAZEBO / STAGE SIZE: 495 SQ FT
TOTAL OUTDOOR UNCOVERED SITTING AREA, TABLES & CHAIRS: 2,687 SQ FT
REFER TO SHEET FLR 2 FOR THE FLOOR PLAN

NEW CAFE OR CAFE, BBQ, & SMOKE HOUSE

2527 MANKAS CORNER ROAD, FAIRFIELD, CA 94534
CAFE OPTION TOTAL ENCLOSED SPACE = 2,769 SQ FT BLDG+161 SQ FT OFFICE
CAFE, BBQ, & SMOKE HOUSE OPTION TOTAL ENCLOSED SPACE = 2,438 SQ FT
2,277 SQ FT BLDG+161 SQ FT OFFICE
CAFE, BBQ, & SMOKE HOUSE OPTION TOTAL COVERED PORCH / BBQ SMOKE HOUSE SPACE = 491 SQ FT
REFER TO SHEET FLR 4 FOR THE FLOOR PLAN ALTERNATIVES

NEW RESTROOMS

TOTAL SHARED RESTROOM SIZE: 407 SQ FT
REFER TO SHEET FLR 2 FOR THE FLOOR PLAN



INDEX OF SHEETS:

SHEET#	SHEET DESCRIPTION
COV1	COVER SHEET
RD1	RENDERINGS
RD2	RENDERINGS
RD3	RENDERINGS
RD4	RENDERINGS
RD5	RENDERINGS
RD6	RENDERINGS
C1	EXISTING SITE PLAN
C2	PROPOSED NEW SITE PLAN
C3	PARKING PLAN
C4	PROPOSED AREA PLAN
C5	PROPOSED STORM WATER CONTROL PLAN
C5.1	IMPERVIOUS SURFACE AREA CALC
FLR 1	EXISTING FLOOR PLANS ALL EXISTING BUILDINGS
FLR 2	PROPOSED NEW FLOOR PLAN THE FILLING STATION & FARMERS CLO
FLR 3	PROPOSED NEW FLOOR PLANS WOW, STAGE, COFFEE KIOSK
FLR 4	PROPOSED NEW FLOOR PLANS VALLEY CAFE OR COUNTRY BBQ ALT
OCC1	OCCUPANT LOAD TABULATION
EL 1	EXTERIOR ELEVATIONS
EL 2	EXTERIOR ELEVATIONS
EL 3	EXTERIOR ELEVATIONS
EL 4	EXTERIOR ELEVATIONS
EL 5	EXTERIOR ELEVATIONS

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1	
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3	
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PROJECT TITLE:

MINOR USE PERMIT PLANS
FOR: MARK HALL - MANKAS PARTNERS LLC
2529 MANKAS CORNER ROAD
FAIRFIELD, CA. 94534
APN# 151-140-050

APPROVAL STATUS / SEAL

DATE:
10-9-2025

SCALE:
AS NOTED

SHEET DESCRIPTION:
COVER SHEET & OVERALL PROJECT LAYOUT

SHEET NUMBER:
COV1 OF COV1
W/ SHEETS TOTAL

THESE PLANS ARE CONSIDERED PRELIMINARY AND NOT FOR CONSTRUCTION UNLESS THESE PLANS BEAR A WET SIGNATURE OF JAMES GEORGE, ALONG WITH THE GOVERNING AGENCY'S REVIEW SEAL OF APPROVAL AND WET SIGNATURE.



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PROJECT TITLE:
MINOR USE PERMIT PLANS
FOR: MARK HALL - MANKAS PARTNERS LLC
2529 MANKAS CORNER ROAD
FAIRFIELD, CA 94534
APN# 151-140-050

APPROVAL STATUS / SEAL

DATE:
10-9-2025

SCALE:
AS NOTED

SHEET DESCRIPTION:
RENDERINGS

SHEET NUMBER:
RD1 OF **RD6**
W/ SHEETS TOTAL

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PROJECT TITLE:
MINOR USE PERMIT PLANS
FOR: MARK HALL - MANKAS PARTNERS LLC
2529 MANKAS CORNER ROAD
FAIRFIELD, CA 94534
APN# 151-140-050

APPROVAL STATUS / SEAL

DATE:
10-9-2025

SCALE:
AS NOTED

SHEET DESCRIPTION:
RENDERINGS

SHEET NUMBER:
RD2 OF **RD6**
W/ SHEETS TOTAL

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MINOR USE PERMIT PLANS
FOR: MARK HALL - MANKAS PARTNERS LLC
2529 MANKAS CORNER ROAD
FAIRFIELD, CA 94534
APN# 151-140-050

APPROVAL STATUS / SEAL

DATE:
10-9-2025

SCALE:
AS NOTED

SHEET DESCRIPTION:
RENDERINGS

SHEET NUMBER:
RD3 OF **RD6**
W/ SHEETS TOTAL

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PROJECT TITLE:
MINOR USE PERMIT PLANS
FOR: MARK HALL - MANKAS PARTNERS LLC
2529 MANKAS CORNER ROAD
FAIRFIELD, CA 94534
APN# 151-140-050

APPROVAL STATUS / SEAL

DATE:
10-9-2025

SCALE:
AS NOTED

SHEET DESCRIPTION:
RENDERINGS

SHEET NUMBER:
RD4 of **RD6**
w/ SHEETS TOTAL

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PROJECT TITLE:

MINOR USE PERMIT PLANS
FOR: MARK HALL - MANKAS PARTNERS LLC
2529 MANKAS CORNER ROAD
FAIRFIELD, CA 94534
APN# 151-140-050

APPROVAL STATUS / SEAL

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DATE:

10-9-2025

SCALE:

AS NOTED

SHEET DESCRIPTION:

RENDERINGS

SHEET NUMBER:

RD5 OF **RD6**
W/ SHEETS TOTAL

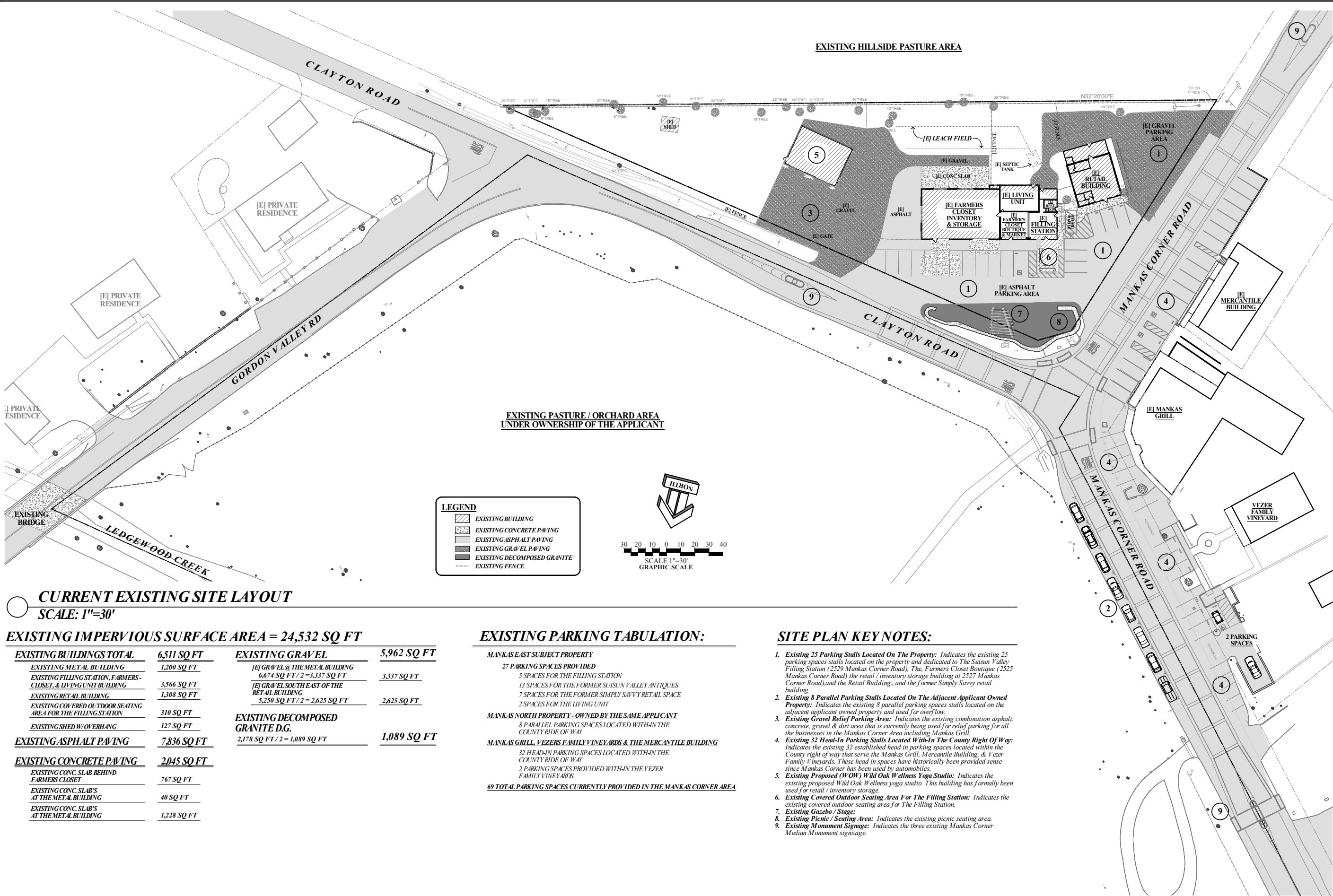
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CURRENT EXISTING SITE LAYOUT

SCALE: 1"=30'

EXISTING IMPERVIOUS SURFACE AREA = 24,532 SQ FT

EXISTING BUILDINGS TOTAL	6,511 SQ FT	EXISTING GRAVEL	5,962 SQ FT
EXISTING METAL BUILDING	1,200 SQ FT	[E] GRAVEL @ THE METAL BUILDING	
EXISTING FILLING STATION, FARMERS CLOSET, & LIVING UNIT BUILDING	3,566 SQ FT	6,674 SQ FT / 2 = 3,337 SQ FT	3,337 SQ FT
EXISTING RETAIL BUILDING	1,308 SQ FT	[E] GRAVEL SOUTH EAST OF THE RETAIL BUILDING	
EXISTING COVERED OUTDOOR SEATING AREA FOR THE FILLING STATION	310 SQ FT	5,250 SQ FT / 2 = 2,625 SQ FT	2,625 SQ FT
EXISTING SHED W/ OVERHANG	127 SQ FT		
EXISTING ASPHALT PAVING	7,836 SQ FT		
		EXISTING DECOMPOSED GRANITE D.G.	1,089 SQ FT
		2,178 SQ FT / 2 = 1,089 SQ FT	
EXISTING CONCRETE PAVING	2,045 SQ FT		
EXISTING CONC. SLAB BEHIND FARMERS CLOSET	767 SQ FT		
EXISTING CONC. SLAB'S AT THE METAL BUILDING	40 SQ FT		
EXISTING CONC. SLAB'S AT THE METAL BUILDING	1,228 SQ FT		

EXISTING PARKING TABULATION:

MANKAS EAST SUBJECT PROPERTY
27 PARKING SPACES PROVIDED
5 SPACES FOR THE FILLING STATION
13 SPACES FOR THE FORMER SUISUN VALLEY ANTIQUES
7 SPACES FOR THE FORMER SIMPLY SAVVY RETAIL SPACE
2 SPACES FOR THE LIVING UNIT
MANKAS NORTH PROPERTY - OWNED BY THE SAME APPLICANT
8 PARALLEL PARKING SPACES LOCATED WITHIN THE COUNTY RIDE OF WAY
MANKAS GRILL, VEZERS FAMILY VINEYARDS & THE MERCANTILE BUILDING
32 HEAD-IN PARKING SPACES LOCATED WITHIN THE COUNTY RIDE OF WAY
2 PARKING SPACES PROVIDED WITHIN THE VEZER FAMILY VINEYARDS
69 TOTAL PARKING SPACES CURRENTLY PROVIDED IN THE MANKAS CORNER AREA

SITE PLAN KEY NOTES:

- Existing 25 Parking Stalls Located On The Property: Indicates the existing 25 parking spaces stalls located on the property and dedicated to The Suisun Valley Filling Station (2529 Mankas Corner Road), The, Farmers Closet Boutique (2525 Mankas Corner Road) the retail / inventory storage building at 2527 Mankas Corner Road and the Retail Building, and the former Simply Savvy retail building.
- Existing 8 Parallel Parking Stalls Located On The Adjacent Applicant Owned Property: Indicates the existing 8 parallel parking spaces stalls located on the adjacent applicant owned property and used for overflow.
- Existing Gravel Relief Parking Area: Indicates the existing combination asphalt, concrete, gravel & dirt area that is currently being used for relief parking for all the businesses in the Mankas Corner Area including Mankas Grill.
- Existing 32 Head-In Parking Stalls Located With-In The County Right Of Way: Indicates the existing 32 established head in parking spaces located within the County right of way that serve the Mankas Grill, Mercantile Building, & Vezer Family Vineyards. These head in spaces have historically been provided since since Mankas Corner has been used by automobiles.
- Existing Proposed (WOV) Wild Oak Wellness Yoga Studio: Indicates the existing proposed Wild Oak Wellness yoga studio. This building has formally been used for retail / inventory storage.
- Existing Covered Outdoor Seating Area For The Filling Station: Indicates the existing covered outdoor seating area for The Filling Station.
- Existing Gazebo / Stage:
- Existing Picnic / Seating Area: Indicates the existing picnic seating area.
- Existing Monument Signage: Indicates the three existing Mankas Corner Median Monument signage.

JAMES GEORGE
DESIGNS
- INC. -
2529 MANKAS CORNER ROAD
FAIRFIELD, CA 94534
TEL: 707-426-0511
FAX: 707-426-0577
E-MAIL: James@jamesgeorgedesigns.com
JAMESGEORGEDESIGNS.COM

PLANS PREPARED BY:
JAMES GEORGE
PROJECT DESIGNER

REVISIONS:
1
2
3

PROJECT TITLE:
MINOR USE PERMIT PLANS
FOR: MARK HALL - MANKAS PARTNERS LLC
2529 MANKAS CORNER ROAD
FAIRFIELD, CA 94534
APN# 151-140-050

APPROVAL STATUS / SEAL

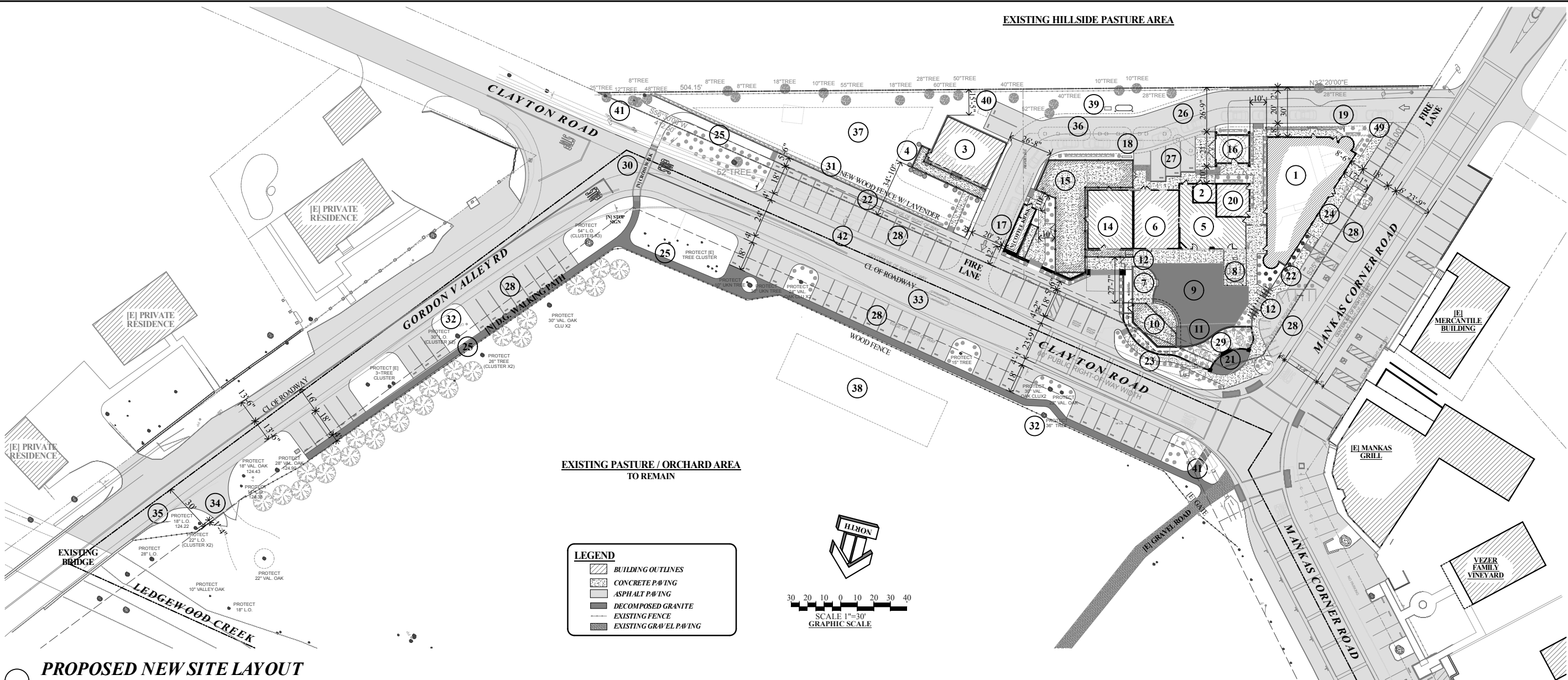
DATE:
10-9-2025

SCALE:
AS NOTED

SHEET DESCRIPTION:
EXISTING SITE
PLAN

SHEET NUMBER:
C1 OF C5
W/ SHEETS TOTAL

THESE PLANS ARE CONSIDERED PRELIMINARY AND NOT FOR CONSTRUCTION UNLESS THESE PLANS BEAR A VET SIGNATURE OF JAMES GEORGE, ALONG WITH THE GOVERNING AGENCY'S REVIEW SEAL OF APPROVAL AND VET SIGNATURE.



PROPOSED NEW SITE LAYOUT

SCALE: 1"=30'

SITE PLAN KEY NOTES:

- 1. Proposed New Valley Café or County Style BBQ, Smoke House, & Café:** Indicates either a proposed new Valley Café or a Country Style BBQ, Smoke House & Café.
- 2. New Private Office/Storage Space for The Café:** This room shall be used for the café as an office and additional storage space.
- 3. Wild Oak Wellness (WOW):** Indicates the new Wild Oak Wellness yoga studio located in the existing retail / inventory storage building.
- 4. Proposed New Porch Addition:** Indicates a proposed new covered porch addition off the front (north) and east sides of the (WOW) yoga studio.
- 5. The Filling Station Enclosed Space:** The Filling Station shall be enlarged into the adjacent tenant space and the former living unit in order to provide a larger bar, more seating, and more storage. The existing living unit is to be removed.
- 6. The Filling Station Storage & Seasonal Indoor Seating:** This space shall serve as seasonal storage, preparation space for outdoor stage performances, and a second performance venue for later evenings, and in times of inclement weather.
- 7. Proposed New 12" Raised Deck:** Proposed new 12" raised deck for tables and chairs.
- 8. The Filling Station Covered Seating Area:** The existing Filling Station covered seating area shall remain.
- 9. Proposed New Outdoor Seating Area:** Indicates the proposed new outdoor seating area with tables and chairs. The asphalt in this area shall be removed and replaced with a permeable decomposed granite finish.
- 10. Proposed New Replacement Acoustical Dampening Stage:** Indicates a proposed new replacement stage with an acoustical ceiling and walls on the north and east sides to limit sound travel onto the adjacent properties.
- 11. Existing Stage to Be Removed:** Indicates the existing stage that is to be removed.
- 12. Proposed New Gate:** Indicates a proposed new gate to limit the number of visitors during live music events and prevent having more vehicles and visitors than the provided parking and occupant loads allow.
- 13. Not Used**
- 14. Proposed Farmers Closet Boutique & Market Relocation:** Indicates the new location for The Farmers Closet. The Farmers Closet shall be relocated into this adjacent tenant space.
- 15. Proposed New Outdoor Covered Market for Farmers Closet:** Indicates a proposed new outdoor covered market area for selling local Suisun Valley grown produce, jams, craft projects, art & misc.

- 16. Proposed New Water Tower Over a Trash Enclosure:** Indicates a proposed new 4,000 to 8,000-gal water tank tower over a new covered trash enclosure. The tower shall have signage on it that reads "Suisun Valley".
- 17. Proposed New Coffee Kiosk Drive-Thru:** Indicates a proposed new Coffee Kiosk with a drive-thru and walk-up window.
- 18. Drive-Thru Ordering Menu Board:** Indicates proposed new drive-thru ordering menu board for the coffee kiosk.
- 19. Drive-Thru Sign:** Indicates proposed new drive-thru signage for the coffee kiosk drive-thru window.
- 20. Proposed Larger Restrooms:** Replace the existing unisex restroom with Men's and Women's restrooms. The former laundry room of the living unit is to be converted into restrooms. The existing vacant living unit is to be removed as part of Solano County Demolition Permit #B202-5-0287.
- 21. Proposed Manka's Corner Signage w/ Art Display:** Indicates proposed new Manka's Corner signage built into a new rock wall w/ art display. Manka's Partner's LLC will be collaborating with Suisun Valley's famed Glasshoff Family, to establish the entire project as an open air "art gallery" of Chad and Phil Glasshoff's metal sculptures (per the project description).
- 22. Proposed New Asphalt Accessible Walking Path:** Indicates a proposed new accessible asphalt walking path from the head-in parking stalls to the new and existing businesses.
- 23. Proposed New Accessible Walking Path:** Indicates a proposed new accessible colored and textured concrete walking path around the outdoor seating area to provide a safe walking area for pedestrians to access new and existing businesses while accessing the existing provided cross walks.
- 24. Proposed New accented sidewalk w/ Curb:** Indicates a proposed new colored and textured sidewalk and curb in front of the new café. The curb is provided to prevent people with vision limitations from walking out into traffic areas.
- 25. Proposed New D.G. Walking Path:** Indicates a proposed new 4' wide decomposed granite walking path from the new parking stalls through the existing trees to the businesses at Manka's Corner. The existing trees shall be protected during construction. The new path shall be decomposed granite to enhance the existing country feel and charm of Manka's Corner.
- 26. Proposed New Driveway, Service, & Fire Lane:** Proposed new 20' wide + 2' shoulders driveway for the coffee kiosk drive up window, service, and designated fire access lane.
- 27. Loading Service Area:** Proposed paved loading service area with three parking spaces.
- 28. Proposed New Parking per the parking plan on sheet C3**

- 29. Proposed New Landscaping:** Indicates areas where new landscaping is proposed to enhance the beauty of Manka's Corner. The landscaping shall be low plants and shrubs as required to maintain safe sight distances for the drivers and pedestrians.
- 30. Proposed New 3-Way Stop Sign with Crosswalk:** Indicates proposed new stop signs to provide a 3-way controlled intersection. This is to improve safety in the Manka's Corner area by preventing traffic travelling around the corner at a high rate of speed. The proposed new crosswalk would allow pedestrians to safely walk from the new parking stalls to the new and existing businesses.
- 31. Proposed Fence:** Proposed low 3' tall wood fence with a lavender planted along the fence.
- 32. Protect Existing Trees:** The existing trees are to remain unless noted otherwise and shall be protected from damage during construction.
- 33. Monument Proposed to Be Re-located:** Indicates the existing monument signage to be removed, protected, and relocated per the area plan on sheet C4. The monuments shall be re-located outside the parking areas to slow traffic down prior to entering the parking and pedestrian areas. The monument shall be moved at County cost.
- 34. Proposed New Driveway Encroachment w/ a 14' Wide Gate:** Indicates a proposed new paved driveway encroachment for farm equipment access into the orchard / pasture area. Provide 14' wide gate to be located min 30' from the property line.
- 35. Proposed Guard Rail Adjustment:** Indicates a proposed adjustment to the existing guard rail to shorten it so that it matches the length of the guard rail on the opposite side of Gordon Valley Road and allows for new access to the field.
- 36. Proposed New Septic Tanks Under Driveway:** Indicates proposed new traffic rated septic tanks to be installed under the driveway per plans prepared by others.
- 37. Proposed New Leach Field:** Indicates the proposed new leach field per plans by others.
- 38. Proposed Reserve Leach Field:** Indicates the proposed reserve leach field location on the adjacent applicant owned property.
- 39. Propane Tank & Generator:** Indicates a proposed relocated propane tank & new emergency back-up generator.
- 40. Proposed New Pad Mounted Electrical Transformer:** Proposed new pad mounted electrical transformer.
- 41. Power Pole To Remain:** Indicates the existing power pole to remain. The powerlines along the North side of the property shall be re-located underground by Manka's Partners, LLC.
- 42. Power Pole Proposed to Be Removed:** Indicates the existing power pole to be removed with the power lines re-located underground.

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PLANS PREPARED BY:

JAMES GEORGE
PROJECT DESIGNER

REVISIONS:

PROJECT TITLE:

MINOR USE PERMIT PLANS
FOR: MARK HALL - MANKAS PARTNERS LLC
2529 MANKAS CORNER ROAD
FAIRFIELD, CA. 94534
APN# 151-140-050

APPROVAL STATUS / SEAL

DATE:

10-9-2025

SCALE:

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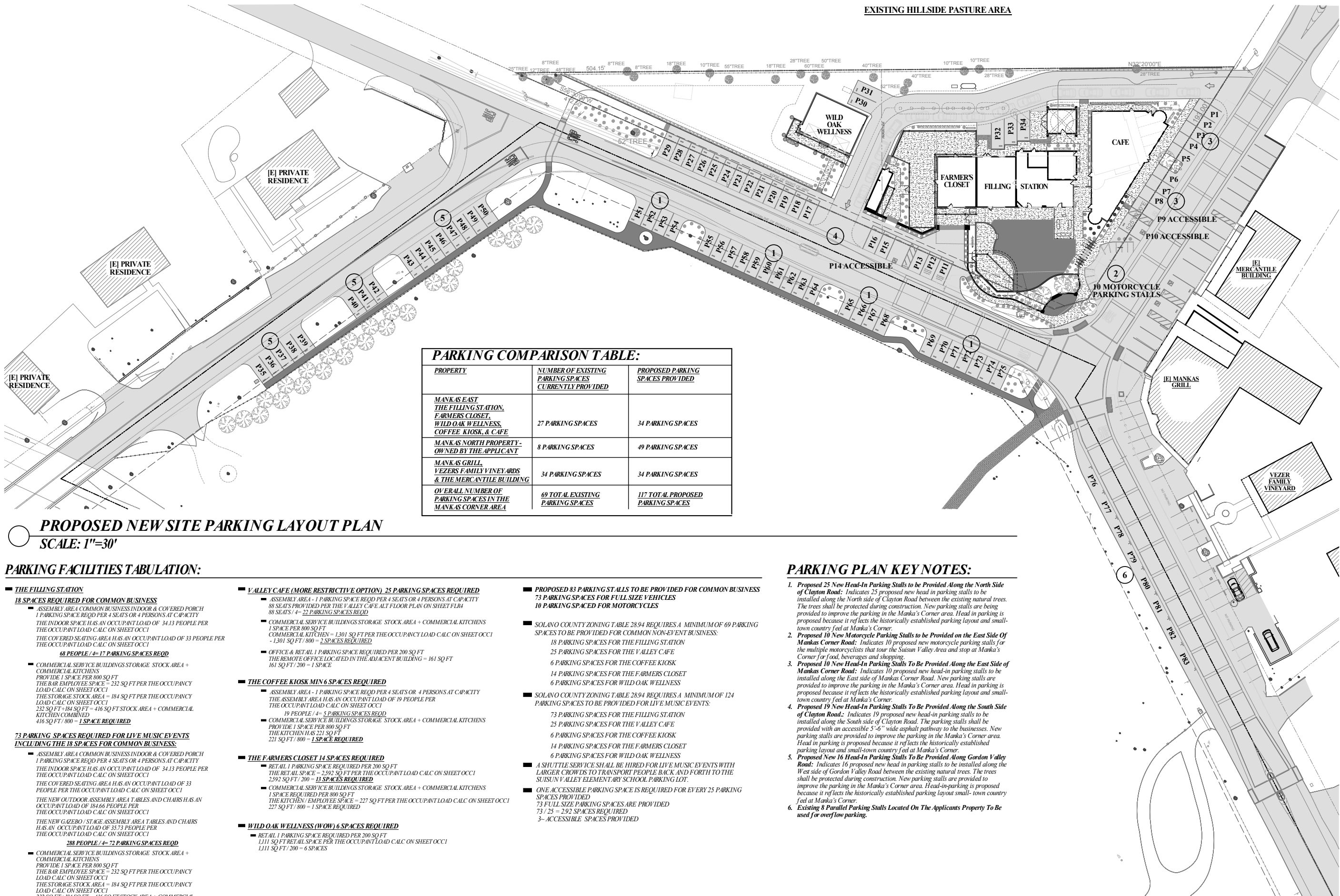
SHEET DESCRIPTION:

PROPOSED
NEW SITE PLAN

SHEET NUMBER:

C2 of C5
W/ SHEETS TOTAL

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PROPOSED NEW SITE PARKING LAYOUT PLAN

SCALE: 1"=30'

PARKING FACILITIES TABULATION:

THE FILLING STATION

18 SPACES REQUIRED FOR COMMON BUSINESS

- ASSEMBLY AREA COMMON BUSINESS INDOOR & COVERED PORCH
1 PARKING SPACE REQD PER 4 SEATS OR 4 PERSONS AT CAPACITY
THE INDOOR SPACE HAS AN OCCUPANT LOAD OF 34.13 PEOPLE PER THE OCCUPANT LOAD CALC ON SHEET OCC1
THE COVERED SEATING AREA HAS AN OCCUPANT LOAD OF 33 PEOPLE PER THE OCCUPANT LOAD CALC ON SHEET OCC1

68 PEOPLE / 4= 17 PARKING SPACES REQD

- COMMERCIAL SERVICE BUILDINGS STORAGE STOCK AREA + COMMERCIAL KITCHENS
PROVIDE 1 SPACE PER 800 SQ FT
THE BAR EMPLOYEE SPACE = 232 SQ FT PER THE OCCUPANCY LOAD CALC ON SHEET OCC1
THE STORAGE STOCK AREA = 184 SQ FT PER THE OCCUPANCY LOAD CALC ON SHEET OCC1
232 SQ FT + 184 SQ FT = 416 SQ FT STOCK AREA + COMMERCIAL KITCHEN COMBINED
416 SQ FT / 800 = 1 SPACE REQUIRED

73 PARKING SPACES REQUIRED FOR LIVE MUSIC EVENTS INCLUDING THE 18 SPACES FOR COMMON BUSINESS:

- ASSEMBLY AREA COMMON BUSINESS INDOOR & COVERED PORCH
1 PARKING SPACE REQD PER 4 SEATS OR 4 PERSONS AT CAPACITY
THE INDOOR SPACE HAS AN OCCUPANT LOAD OF 34.13 PEOPLE PER THE OCCUPANT LOAD CALC ON SHEET OCC1
THE COVERED SEATING AREA HAS AN OCCUPANT LOAD OF 33 PEOPLE PER THE OCCUPANT LOAD CALC ON SHEET OCC1
THE NEW OUTDOOR ASSEMBLY AREA TABLES AND CHAIRS HAS AN OCCUPANT LOAD OF 184.66 PEOPLE PER THE OCCUPANT LOAD CALC ON SHEET OCC1
THE NEW GAZEBO / STAGE ASSEMBLY AREA TABLES AND CHAIRS HAS AN OCCUPANT LOAD OF 35.73 PEOPLE PER THE OCCUPANT LOAD CALC ON SHEET OCC1

288 PEOPLE / 4= 72 PARKING SPACES REQD

- COMMERCIAL SERVICE BUILDINGS STORAGE STOCK AREA + COMMERCIAL KITCHENS
PROVIDE 1 SPACE PER 800 SQ FT
THE BAR EMPLOYEE SPACE = 232 SQ FT PER THE OCCUPANCY LOAD CALC ON SHEET OCC1
THE STORAGE STOCK AREA = 184 SQ FT PER THE OCCUPANCY LOAD CALC ON SHEET OCC1
232 SQ FT + 184 SQ FT = 416 SQ FT STOCK AREA + COMMERCIAL KITCHEN COMBINED
416 SQ FT / 800 = 1 SPACE REQUIRED

VALLEY CAFE (MORE RESTRICTIVE OPTION) 25 PARKING SPACES REQUIRED

- ASSEMBLY AREA - 1 PARKING SPACE REQD PER 4 SEATS OR 4 PERSONS AT CAPACITY
88 SEATS PROVIDED PER THE VALLEY CAFE ALT FLOOR PLAN ON SHEET FLR4
88 SEATS / 4= 22 PARKING SPACES REQD

- COMMERCIAL SERVICE BUILDINGS STORAGE STOCK AREA + COMMERCIAL KITCHENS
1 SPACE PER 800 SQ FT
COMMERCIAL KITCHEN = 1,301 SQ FT PER THE OCCUPANCY LOAD CALC ON SHEET OCC1
1,301 SQ FT / 800 = 2 SPACES REQUIRED

- OFFICE & RETAIL 1 PARKING SPACE REQUIRED PER 200 SQ FT
THE REMOTE OFFICE LOCATED IN THE ADJACENT BUILDING = 161 SQ FT
161 SQ FT / 200 = 1 SPACE

THE COFFEE KIOSK MIN 6 SPACES REQUIRED

- ASSEMBLY AREA - 1 PARKING SPACE REQD PER 4 SEATS OR 4 PERSONS AT CAPACITY
THE ASSEMBLY AREA HAS AN OCCUPANT LOAD OF 19 PEOPLE PER THE OCCUPANT LOAD CALC ON SHEET OCC1

- 19 PEOPLE / 4= 5 PARKING SPACES REQD
COMMERCIAL SERVICE BUILDINGS STORAGE STOCK AREA + COMMERCIAL KITCHENS
PROVIDE 1 SPACE PER 800 SQ FT
THE KITCHEN HAS 221 SQ FT
221 SQ FT / 800 = 1 SPACE REQUIRED

THE FARMERS CLOSET 14 SPACES REQUIRED

- RETAIL 1 PARKING SPACE REQUIRED PER 200 SQ FT
THE RETAIL SPACE = 2,592 SQ FT PER THE OCCUPANT LOAD CALC ON SHEET OCC1
2,592 SQ FT / 200 = 13 SPACES REQUIRED
COMMERCIAL SERVICE BUILDINGS STORAGE STOCK AREA + COMMERCIAL KITCHENS
1 SPACE REQUIRED PER 800 SQ FT
THE KITCHEN / EMPLOYEE SPACE = 227 SQ FT PER THE OCCUPANT LOAD CALC ON SHEET OCC1
227 SQ FT / 800 = 1 SPACE REQUIRED

WILD OAK WELLNESS (WOW) 6 SPACES REQUIRED

- RETAIL 1 PARKING SPACE REQUIRED PER 200 SQ FT
1,111 SQ FT RETAIL SPACE PER THE OCCUPANT LOAD CALC ON SHEET OCC1
1,111 SQ FT / 200 = 6 SPACES

PARKING COMPARISON TABLE:

PROPERTY	NUMBER OF EXISTING PARKING SPACES CURRENTLY PROVIDED	PROPOSED PARKING SPACES PROVIDED
MANKAS EAST THE FILLING STATION, FARMERS CLOSET, WILD OAK WELLNESS, COFFEE KIOSK, & CAFE	27 PARKING SPACES	34 PARKING SPACES
MANKAS NORTH PROPERTY - OWNED BY THE APPLICANT	8 PARKING SPACES	49 PARKING SPACES
MANKAS GRILL, VEZERS FAMILY VINEYARDS & THE MERCANTILE BUILDING	34 PARKING SPACES	34 PARKING SPACES
OVERALL NUMBER OF PARKING SPACES IN THE MANKAS CORNER AREA	69 TOTAL EXISTING PARKING SPACES	117 TOTAL PROPOSED PARKING SPACES

PARKING PLAN KEY NOTES:

- Proposed 25 New Head-In Parking Stalls to Be Provided Along the North Side of Clayton Road: Indicates 25 proposed new head in parking stalls to be installed along the North side of Clayton Road between the existing natural trees. The trees shall be protected during construction. New parking stalls are being provided to improve the parking in the Manka's Corner area. Head in parking is proposed because it reflects the historically established parking layout and small-town country feel at Manka's Corner.
- Proposed 10 New Motorcycle Parking Stalls to Be Provided on the East Side Of Mankas Corner Road: Indicates 10 proposed new motorcycle parking stalls for the multiple motorcyclists that tour the Suisun Valley Area and stop at Manka's Corner for food, beverages and shopping.
- Proposed 10 New Head-In Parking Stalls To Be Provided Along the East Side of Mankas Corner Road: Indicates 10 proposed new head-in parking stalls to be installed along the East side of Mankas Corner Road. New parking stalls are provided to improve the parking in the Manka's Corner area. Head in parking is proposed because it reflects the historically established parking layout and small-town country feel at Manka's Corner.
- Proposed 19 New Head-In Parking Stalls To Be Provided Along the South Side of Clayton Road: Indicates 19 proposed new head-in parking stalls to be installed along the South side of Clayton Road. The parking stalls shall be provided with an accessible 5'-6" wide asphalt pathway to the businesses. New parking stalls are provided to improve the parking in the Manka's Corner area. Head in parking is proposed because it reflects the historically established parking layout and small-town country feel at Manka's Corner.
- Proposed New 16 Head-In Parking Stalls To Be Provided Along Gordon Valley Road: Indicates 16 proposed new head in parking stalls to be installed along the West side of Gordon Valley Road between the existing natural trees. The trees shall be protected during construction. New parking stalls are provided to improve the parking in the Manka's Corner area. Head-in-parking is proposed because it reflects the historically established parking layout small-town country feel at Manka's Corner.
- Existing 8 Parallel Parking Stalls Located On The Applicants Property To Be used for overflow parking.

PROPOSED 83 PARKING STALLS TO BE PROVIDED FOR COMMON BUSINESS 73 PARKING SPACES FOR FULL SIZE VEHICLES 10 PARKING SPACES FOR MOTORCYCLES

SOLANO COUNTY ZONING TABLE 28.94 REQUIRES A MINIMUM OF 69 PARKING SPACES TO BE PROVIDED FOR COMMON NON-EVENT BUSINESS:

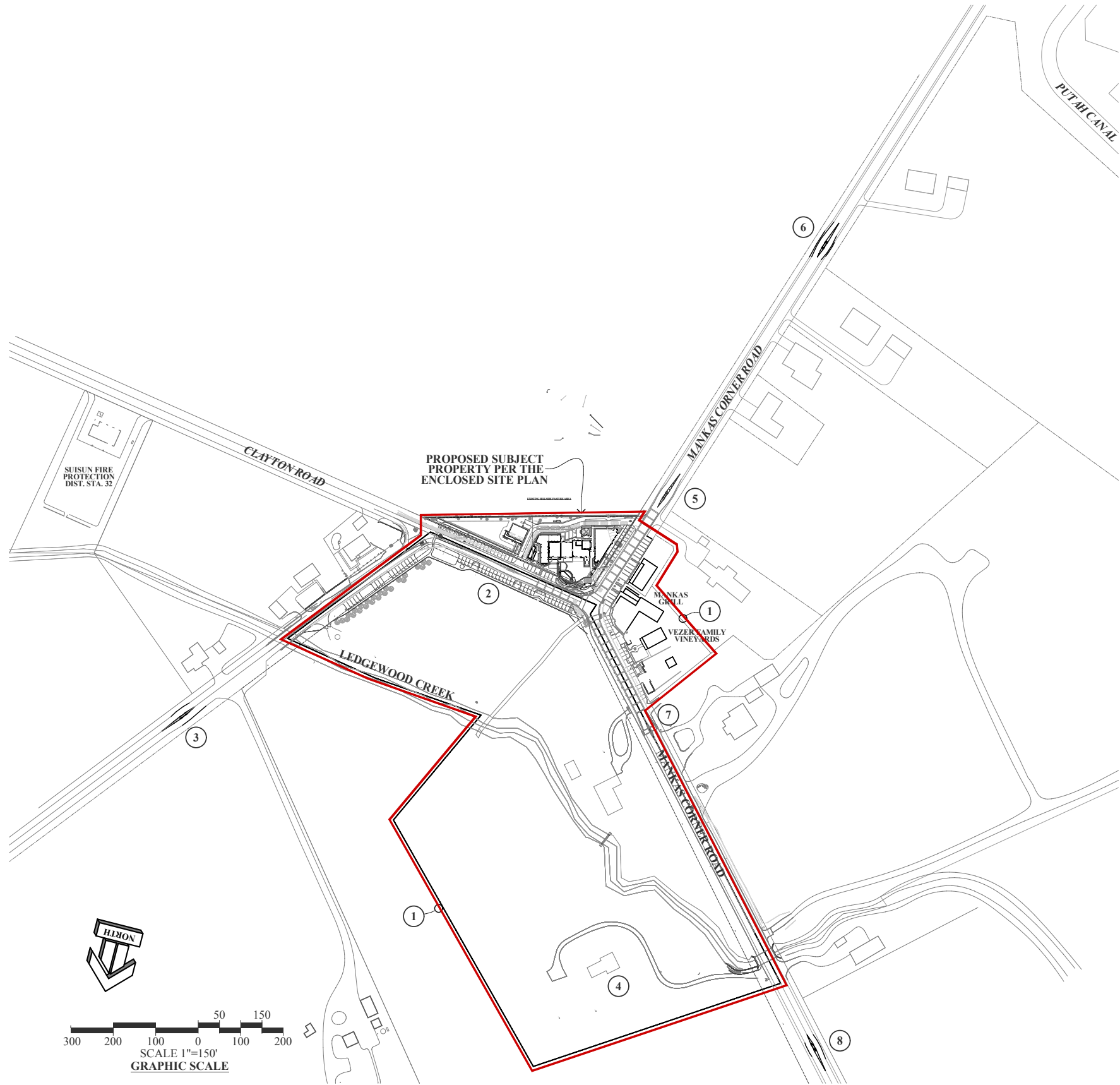
- 18 PARKING SPACES FOR THE FILLING STATION
- 25 PARKING SPACES FOR THE VALLEY CAFE
- 6 PARKING SPACES FOR THE COFFEE KIOSK
- 14 PARKING SPACES FOR THE FARMERS CLOSET
- 6 PARKING SPACES FOR WILD OAK WELLNESS

SOLANO COUNTY ZONING TABLE 28.94 REQUIRES A MINIMUM OF 124 PARKING SPACES TO BE PROVIDED FOR LIVE MUSIC EVENTS:

- 73 PARKING SPACES FOR THE FILLING STATION
- 25 PARKING SPACES FOR THE VALLEY CAFE
- 6 PARKING SPACES FOR THE COFFEE KIOSK
- 14 PARKING SPACES FOR THE FARMERS CLOSET
- 6 PARKING SPACES FOR WILD OAK WELLNESS

A SHUTTLE SERVICE SHALL BE HIRED FOR LIVE MUSIC EVENTS WITH LARGER CROWDS TO TRANSPORT PEOPLE BACK AND FORTH TO THE SUISUN VALLEY ELEMENTARY SCHOOL PARKING LOT.

- ONE ACCESSIBLE PARKING SPACE IS REQUIRED FOR EVERY 25 PARKING SPACES PROVIDED
73 / 25 = 2.92 SPACES REQUIRED
3- ACCESSIBLE SPACES PROVIDED



○ **AREA PLAN**
SCALE: 1"=150'

AREA PLAN KEY NOTES:

- Proposed New Alcoholic Beverages And Entertainment Zone:** The Red line indicates the areas proposed to be designated as an Alcoholic Beverages And Entertainment Zone under SB 969 - defined as "a zone created by a city, county, or city and county ordinance on or after January 1, 2025, that authorizes consumption of one or more types of alcoholic beverages on public streets, sidewalks, or public rights-of-way."
- Existing North East Manka's Corner Median Monument Sign Location:** Indicates the existing location for the North East Manka's Corner median monument sign.
- Proposed New North East Manka's Corner Median Monument Sign Location:** Indicates the proposed new location for the North East Manka's Corner Median Monument Sign. Relocate the sign to slow vehicles down prior to reaching the residences, Parking, intersection, & businesses clustered around Manka's Corner for safety.
- Wolfskill Mansion:** Future plans include restoring the Wolfskill Mansion and using it for a small winery with wine tasting. This is informational only and not part of this use permit.
- Existing South Manka's Corner Median Monument Sign Location:** Indicates the existing location for the South Manka's Corner median monument sign.
- Future Separate Permit New South Manka's Corner Median Monument Sign Location:** In the future Manka's LLC would like to have the South Manka's Corner median monument sign relocated to the top of the grade slope to slow vehicles down prior to reaching most the residences clustered around Manka's Corner for safety. Having the sign located at the top of the hill just prior to descending into Manka's Corner will also enhance the experience for drivers approaching Manka's Corner.
- Existing West Manka's Corner Median Monument Sign Location:** Indicates the existing location for the West Manka's Corner median monument sign.
- Future Separate Permit New West Manka's Corner Median Monument Sign Location:** In the future Manka's LLC. would like to have the West Manka's Corner median monument sign re-located further West to slow vehicles down prior to reaching the residences & businesses clustered around Manka's Corner for safety.

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PLANS PREPARED BY:
JAMES GEORGE
PROJECT DESIGNER

REVISIONS:
▲
▲
▲

PROJECT TITLE:
MINOR USE PERMIT PLANS
FOR: MARK HALL - MANKAS PARTNERS LLC
2529 MANKAS CORNER ROAD
FAIRFIELD, CA. 94534
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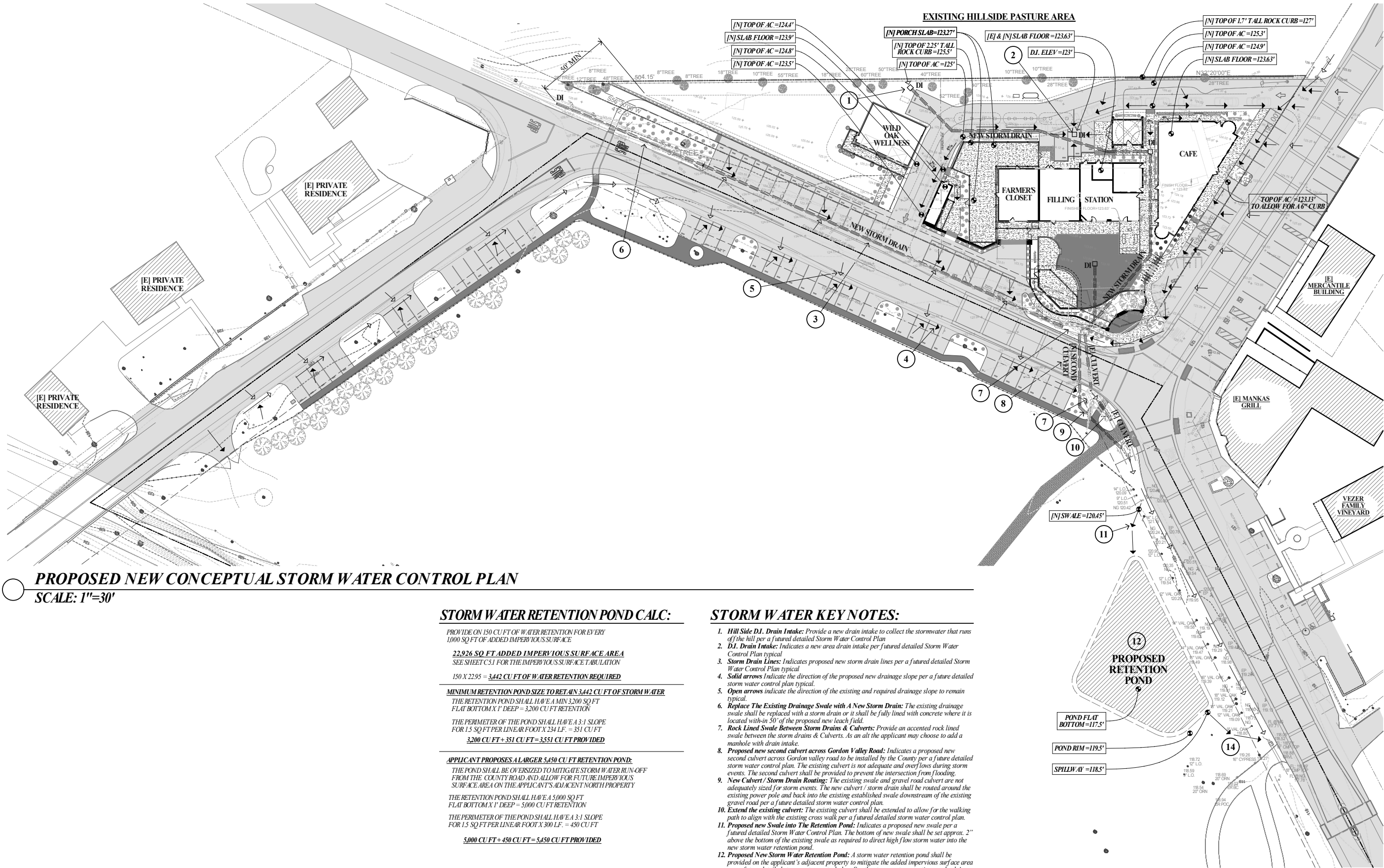
DATE:
10-9-2025

SCALE:
AS NOTED

SHEET DESCRIPTION:
SITE AREA PLAN

SHEET NUMBER:
C4 OF **C5**
W/ SHEETS TOTAL

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PROPOSED NEW CONCEPTUAL STORM WATER CONTROL PLAN

SCALE: 1"=30'

STORM WATER RETENTION POND CALC:

PROVIDE ON 150 CU FT OF WATER RETENTION FOR EVERY 1,000 SQ FT OF ADDED IMPERVIOUS SURFACE

22,926 SQ FT ADDED IMPERVIOUS SURFACE AREA
SEE SHEET C5.1 FOR THE IMPERVIOUS SURFACE TABULATION

150 X 22,926 = **3,442 CU FT OF WATER RETENTION REQUIRED**

MINIMUM RETENTION POND SIZE TO RETAIN 3,442 CU FT OF STORM WATER

THE RETENTION POND SHALL HAVE A MIN 3,200 SQ FT FLAT BOTTOM X 1' DEEP = 3,200 CU FT RETENTION

THE PERIMETER OF THE POND SHALL HAVE A 3:1 SLOPE FOR 1.5 SQ FT PER LINEAR FOOT X 234 LF. = 351 CU FT

3,200 CU FT + 351 CU FT = 3,551 CU FT PROVIDED

APPLICANT PROPOSES A LARGER 5,450 CU FT RETENTION POND:

THE POND SHALL BE OVERSIZED TO MITIGATE STORM WATER RUN-OFF FROM THE COUNTY ROAD AND ALLOW FOR FUTURE IMPERVIOUS SURFACE AREA ON THE APPLICANT'S ADJACENT NORTH PROPERTY

THE RETENTION POND SHALL HAVE A 5,000 SQ FT FLAT BOTTOM X 1' DEEP = 5,000 CU FT RETENTION

THE PERIMETER OF THE POND SHALL HAVE A 3:1 SLOPE FOR 1.5 SQ FT PER LINEAR FOOT X 300 LF. = 450 CU FT

5,000 CU FT + 450 CU FT = 5,450 CU FT PROVIDED

STORM WATER KEY NOTES:

- Hill Side D.I. Drain Intake:** Provide a new drain intake to collect the stormwater that runs off the hill per a future detailed Storm Water Control Plan
- D.I. Drain Intake:** Indicates a new area drain intake per future detailed Storm Water Control Plan typical
- Storm Drain Lines:** Indicates proposed new storm drain lines per a future detailed Storm Water Control Plan typical
- Solid arrows** Indicate the direction of the proposed new drainage slope per a future detailed storm water control plan typical.
- Open arrows** indicate the direction of the existing and required drainage slope to remain typical.
- Replace The Existing Drainage Swale with A New Storm Drain:** The existing drainage swale shall be replaced with a storm drain or it shall be fully lined with concrete where it is located within 50' of the proposed new leach field.
- Rock Lined Swale Between Storm Drains & Culverts:** Provide an accented rock lined swale between the storm drains & Culverts. As an alt the applicant may choose to add a manhole with drain intake.
- Proposed new second culvert across Gordon Valley Road:** Indicates a proposed new second culvert across Gordon valley road to be installed by the County per a future detailed storm water control plan. The existing culvert is not adequate and overflows during storm events. The second culvert shall be provided to prevent the intersection from flooding.
- New Culvert / Storm Drain Routing:** The existing swale and gravel road culvert are not adequately sized for storm events. The new culvert / storm drain shall be routed around the existing power pole and back into the existing established swale downstream of the existing gravel road per a future detailed storm water control plan.
- Extend the existing culvert:** The existing culvert shall be extended to allow for the walking path to align with the existing cross walk per a future detailed storm water control plan.
- Proposed new Swale into The Retention Pond:** Indicates a proposed new swale per a future detailed Storm Water Control Plan. The bottom of new swale shall be set approx. 2" above the bottom of the existing swale as required to direct high flow storm water into the new storm water retention pond.
- Proposed New Storm Water Retention Pond:** A storm water retention pond shall be provided on the applicant's adjacent property to mitigate the added impervious surface area per a future detailed storm water control plan. See the storm water retention pond calc's on this sheet along with the impervious surface calc's on sheet C5.1. The applicant proposes to oversize the pond to mitigate storm water from the County road impervious surface area and allow for future added impervious surface area on the applicant's adjacent property.
- Not Used
- Retention Pond Spillway:** The retention pond spillway shall route the overflow storm water back into the established drainage swale along Mankas Corner Road.

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PROJECT TITLE:
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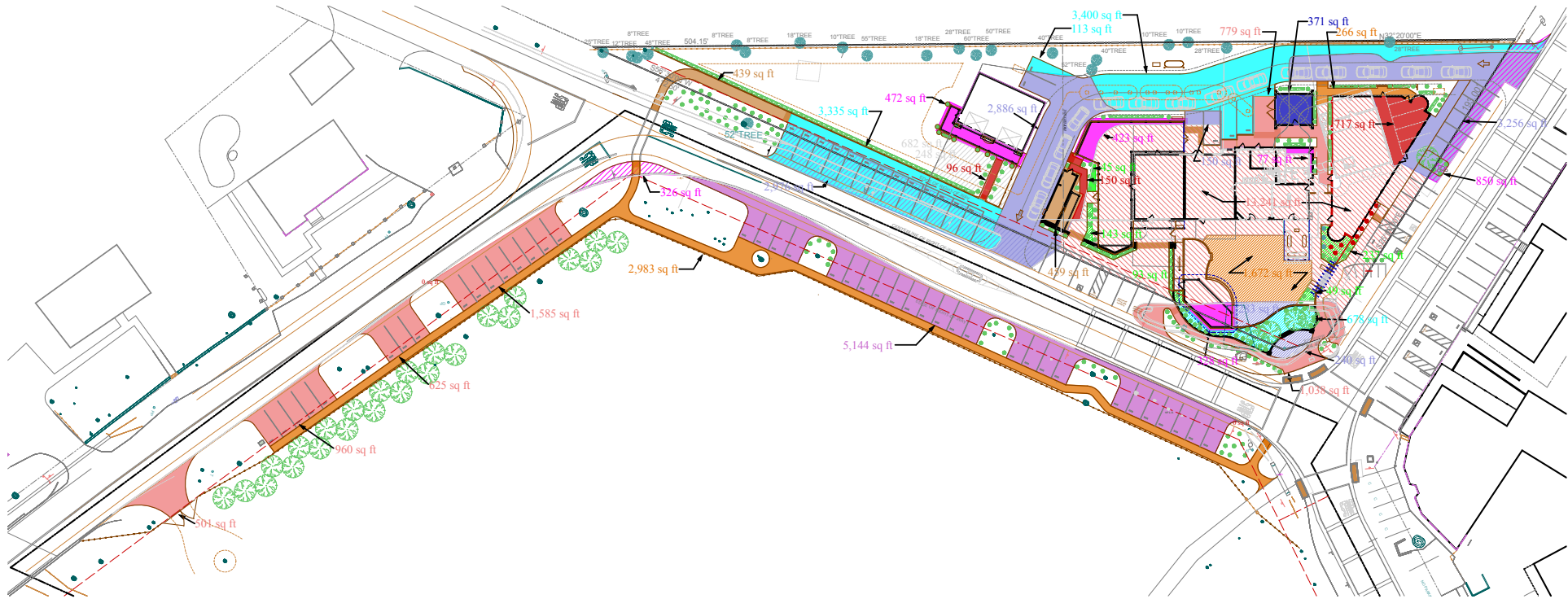
DATE:
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SCALE:
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SITE STORM WATER CONTROL PLAN

SHEET NUMBER:
C5 OF **C5**
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PROPOSED NEW IMPERVIOUS SURFACE AREA REFERENCE PLAN

SCALE: 1"=40'



EXISTING IMPERVIOUS SURFACE AREA REFERENCE PLAN

SCALE: 1"=40'

EXISTING IMPERVIOUS SURFACE AREA = 23,443 SQ FT

EXISTING BUILDINGS TOTAL	6,511 SQ FT	COLOR DESIGNATION	EXISTING GRAVEL	5,962 SQ FT	COLOR DESIGNATION
EXISTING METAL BUILDING	1,200 SQ FT		[E] GRAVEL @ THE METAL BUILDING		
EXISTING FILLING STATION, FARMERS CLOSET, & LIVING UNIT BUILDING	3,566 SQ FT		6,674 SQ FT / 2 = 3,337 SQ FT	3,337 SQ FT	
EXISTING RETAIL BUILDING	1,308 SQ FT		[E] GRAVEL SOUTH EAST OF THE RETAIL BUILDING		
EXISTING COVERED OUTDOOR SEATING AREA FOR THE FILLING STATION	310 SQ FT		5,250 SQ FT / 2 = 2,625 SQ FT	2,625 SQ FT	
EXISTING SHED W/ OVERHANG	127 SQ FT		EXISTING DECOMPOSED GRANITE D.G.		
EXISTING ASPHALT PAVING	7,836 SQ FT		2,178 SQ FT / 2 = 1,089 SQ FT	1,089 SQ FT	
EXISTING CONCRETE PAVING	2,045 SQ FT				
EXISTING CONC. SLAB BEHIND FARMERS CLOSET	767 SQ FT				
EXISTING CONC. SLAB'S AT THE METAL BUILDING	40 SQ FT				
EXISTING CONC. SLAB'S AT THE METAL BUILDING	1,228 SQ FT				

PROPOSED GRADING TABULATION:

PROPOSED PROJECT SURFACE AREA TO BE DISTURBED =	32,206 SQ FT
PROPOSED AMOUNT OF SOIL TO BE MOVED CUT & FILL W/ ALL 540 CU YRDS TO BE USED ON SITE	540 CU YRDS
NET ADDED IMPERVIOUS SURFACE AREA	22,826 SQ FT

NEW IMPERVIOUS SURFACE AREA TABULATION:

		COLOR DESIGNATION
PROPOSED NEW ASPHALT DRIVEWAY & PARKING AREAS SOUTH OF CLAYTON ROAD OUTSIDE THE [E] GRAVEL PARKING AREA	3,400 SQ FT SOUTH OF THE FILLING STATION	
	113 SQ FT SOUTH OF WILD OAK WELLNESS	
	3,335 SQ FT SOUTH OF CLAYTON ROAD	6,848 SQ FT
PROPOSED NEW ASPHALT DRIVEWAY & PARKING AREAS SOUTH OF CLAYTON ROAD OVER THE EXISTING GRAVEL PARKING AREA	3,256 SQ FT WEST OF THE PROPOSED CAFE	
	2,886 SQ FT EAST OF THE COFFEE KIOSK	
	150 SQ FT SOUTH OF FARMERS CLOSET	
	6,292 SQ FT DIVIDE BY 2 BECAUSE GRAVEL COUNTS 50%	+ 3,146 SQ FT
	-3,146 SQ FT ADDED IMPERVIOUS SURFACE AREA	
PROPOSED NEW ASPHALT PARKING STALLS ON THE NORTH SIDE OF CLAYTON ROAD		+ 5,140 SQ FT
PROPOSED NEW ASPHALT PARKING STALLS ON THE WEST SIDE OF GORDON VALLEY ROAD		+ 3,671 SQ FT
PROPOSED NEW D.G. WALKING PATH ON THE NORTH SIDE OF CLAYTON ROAD & EAST OF WOW = 464 SQ FT DIVIDE BY HALF BECAUSE D.G. IS PERMEABLE =		+ 2,322 SQ FT
PROPOSED NEW D.G. WALKING PATH ON THE SOUTH SIDE OF CLAYTON ROAD & EAST OF WOW = 464 SQ FT DIVIDE BY HALF BECAUSE D.G. IS PERMEABLE =		+ 232 SQ FT
PROPOSED NEW COVERED PORCH @ WILD OAK WELLNESS + AN 18" OVERHANG	417 SQ FT DIVIDE BY 2 BECAUSE THE [E] GRAVEL COUNTS 50%	+ 209 SQ FT
	-209 SQ FT ADDED IMPERVIOUS SURFACE AREA	
PROPOSED NEW WALKWAY TO WILD OAK WELLNESS	96 SQ FT DIVIDE BY 2 BECAUSE THE [E] GRAVEL COUNTS 50%	+ 48 SQ FT
	-48 SQ FT ADDED IMPERVIOUS SURFACE AREA	
PROPOSED NEW COFFEE KIOSK + AN 18" OVERHANG	549 SQ FT DIVIDE BY 2 BECAUSE THE [E] GRAVEL COUNTS 50%	+ 275 SQ FT
	-275 SQ FT ADDED IMPERVIOUS SURFACE AREA	
PROPOSED NEW COFFEE KIOSK + AN 18" OVERHANG	150 SQ FT DIVIDE BY 2 BECAUSE THE [E] GRAVEL COUNTS 50%	+ 75 SQ FT
	-75 SQ FT ADDED IMPERVIOUS SURFACE AREA	
PROPOSED NEW FARMERS CLOSET COVERED MARKET OUTSIDE THE ORIGINAL PAVED FOOTPRINT + AN 18" OVERHANG	423 SQ FT DIVIDE BY 2 BECAUSE THE [E] GRAVEL COUNTS 50%	+ 212 SQ FT
	-212 SQ FT ADDED IMPERVIOUS SURFACE AREA	
PROPOSED ENLARGE FILLING STATION BUILDING FOR RESTROOMS		+ 77 SQ FT
PROPOSED NEW COVERED TRASH ENCLOSURE / WATER TOWER		+ 371 SQ FT
PROPOSED NEW CONCRETE WALKWAYS & LANDINGS SOUTH OF THE CAFE OUTSIDE THE ORIGINAL BUILDING FOOTPRINTS	266 SQ FT DIVIDE BY 2 BECAUSE THE [E] GRAVEL COUNTS 50%	+ 133 SQ FT
	-133 SQ FT ADDED IMPERVIOUS SURFACE AREA	
PROPOSED NEW CONCRETE WALKWAYS & SERVICE PAD SLAB SOUTH OF THE FILLING STATION OUTSIDE THE ORIGINAL BUILDING FOOTPRINTS		+ 779 SQ FT
PROPOSED NEW CAFE FOOTPRINT OUTSIDE THE ORIGINAL BUILDING & PAVED AREA FOOTPRINTS	717 SQ FT DIVIDE BY 2 BECAUSE THE [E] GRAVEL COUNTS 50%	+ 359 SQ FT
	-359 SQ FT ADDED IMPERVIOUS SURFACE AREA	
PROPOSED NEW CONCRETE WALKWAY NORTH OF THE STAGE + ENLARGED PARKING AREA		+ 1,038 SQ FT
PROPOSED NEW STAGE AREA + OVERHANG OUTSIDE THE ORIGINAL PAVED AREA FOOTPRINT	328 SQ FT DIVIDE BY 2 BECAUSE THE [E] D.G. COUNTS 50%	+ 164 SQ FT
	-164 SQ FT ADDED IMPERVIOUS SURFACE AREA	
DECOMPOSED GRANITE AT THE SITTING AREA= 1,852 SQ FT [E] 1,672 SQ FT OF AC TO BE REMOVED & REPLACED W/ D.G. DIVIDE BY HALF FOR PERMEABLE D.G.= 836 SQ FT REDUCTION IN IMPERVIOUS SURFACE AREA		- 836 SQ FT
[E] TURN ON GORDON VALLEY ROAD TO BE TIGHTENED UP		-326 SQ FT
[E] PAVED AREAS TO BE REMOVED AND REPLACED WITH PLANTERS		
	NEW PLANTER NORTH OF THE CAFE	237 SQ FT
	NEW PLANTER NORTH OF THE CAFE & ENTRANCE	49 SQ FT
	NEW PLANTER EAST OF THE NEW STAGE	93 SQ FT
	NEW NORTH PLANTER WEST OF THE KIOSK	143 SQ FT
	NEW SOUTH PLANTER WEST OF THE KIOSK	45 SQ FT
	-457 SQ FT	
[E] D.G. NEAR THE STAGE TO BE REMOVED AND REPLACED WITH PLANTERS =678 SQ FT DIVIDE BY HALF = 339 SQ FT		-339 SQ FT
[E] GRAVEL NORTH OF WOW TO BE REMOVED AND REPLACED WITH LAWN =930 SQ FT DIVIDE BY HALF = 465 SQ FT		-465 SQ FT
	[E] GRAVEL REMOVED EAST O' THE WOW WALKWAY	682 SQ FT
	[E] GRAVEL REMOVED WEST O' THE WOW WALKWAY	248 SQ FT
	930 SQ FT DIVIDE BY HALF = 465 SQ FT	
TOTAL NEW NET ADDED IMPERVIOUS SURFACE AREA=	22,926 SQ FT	
NET ADDED IMPERVIOUS SURFACE AREA TO THE MANKAS EAST PROPERTY & ROADWAY EASEMENT	11,869 SQ FT	
	ROADWAY EASEMENT	3,826 SQ FT
	MANKAS EAST PROPERTY	8,043 SQ FT
NET ADDED IMPERVIOUS SURFACE AREA TO THE MANKAS NORTH PROPERTY & ROADWAY EASEMENT	11,057 SQ FT	
TOTAL PROPOSED IMPERVIOUS SURFACE AREA ON THE MANKAS EAST PROPERTY 31,486 SQ FT	31,486 SQ FT	
TOTAL PROPERTY AREA = 44,150 SQ FT		
TOTAL LOT COVERAGE WITH IMPERVIOUS SURFACE AREA = 71%		
EXISTING IMPERVIOUS SURFACE AREA TO REMAIN THE SAME =	13,923 SQ FT	
EXISTING IMPERVIOUS SURFACE AREA TO REMAIN THE SAME - NO CHANGE	13,241 SQ FT	
[E] D.G. NEAR THE STAGE TO REMAIN THE SAME - NO CHANGE	523 SQ FT	
[E] D.G. NORTH OF THE NEW PLANTER	240 SQ FT	
[E] D.G. SOUTH OF THE NEW PLANTER	283 SQ FT	

JAMES GEORGE
DESIGNS
INC.
2529 MANKAS CORNER ROAD
FAIRFIELD, CA 94534
APN 151-140-050

PLANS PREPARED BY:
JAMES GEORGE
PROJECT DESIGNER

REVISIONS:

PROJECT TITLE:
MINOR USE PERMIT PLANS
FOR: MARK HALL - MANKAS PARTNERS LLC
2529 MANKAS CORNER ROAD
FAIRFIELD, CA 94534
APN 151-140-050

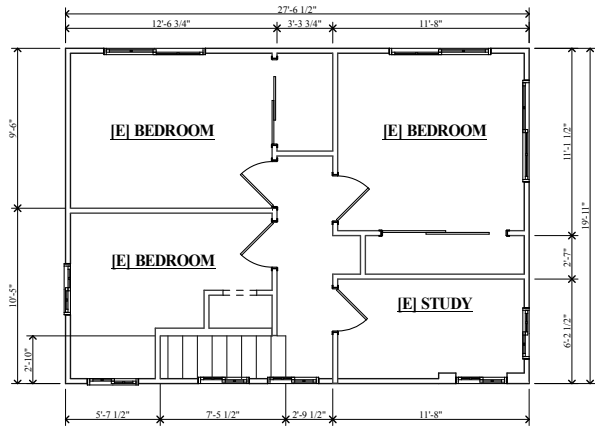
APPROVAL STATUS / SEAL

DATE:
10-9-2025

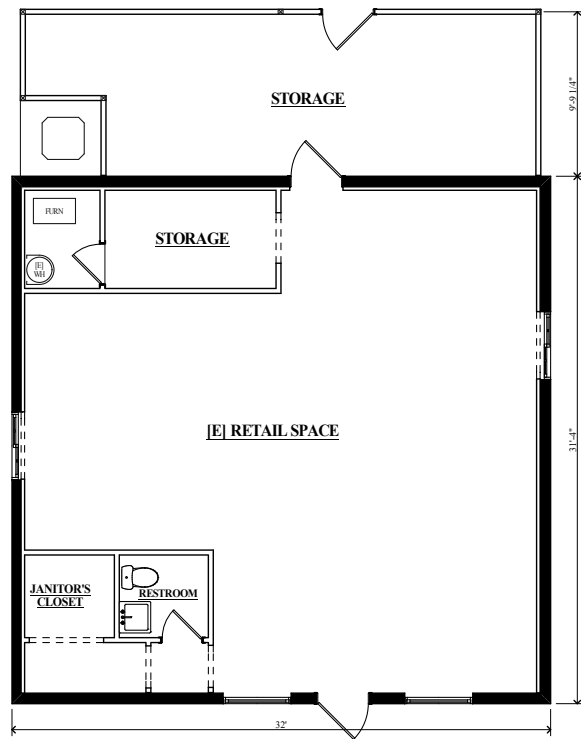
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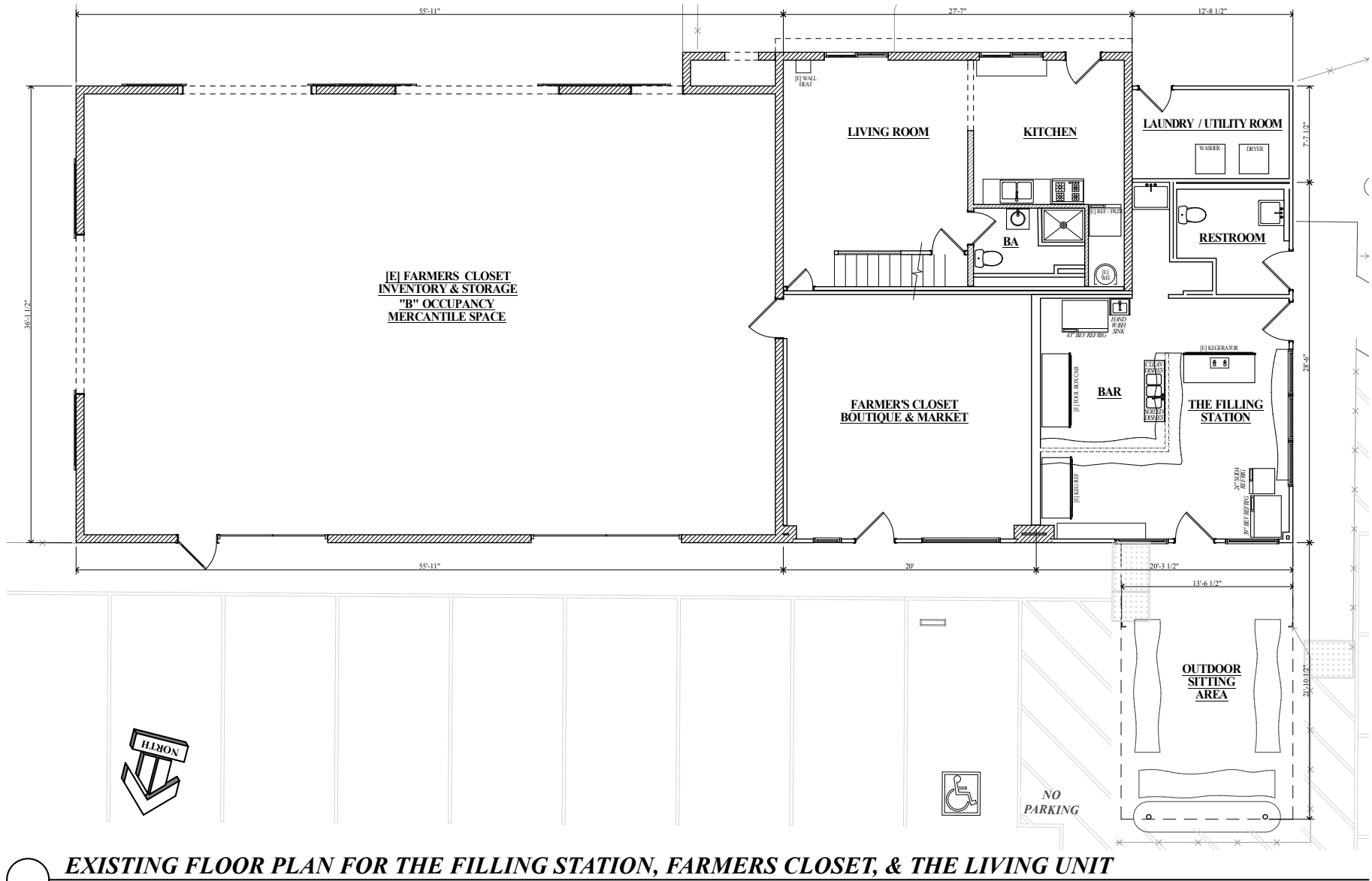
SHEET NUMBER:
C51 OF C5
W/ SHEETS TOTAL



[E] UPPER LEVEL FLOOR PLAN FOR THE LIVING UNIT
SCALE: 3/16" = 1'-0"



EXISTING RETAIL BUILDING FLOOR PLAN
SCALE: 3/16" = 1'-0"

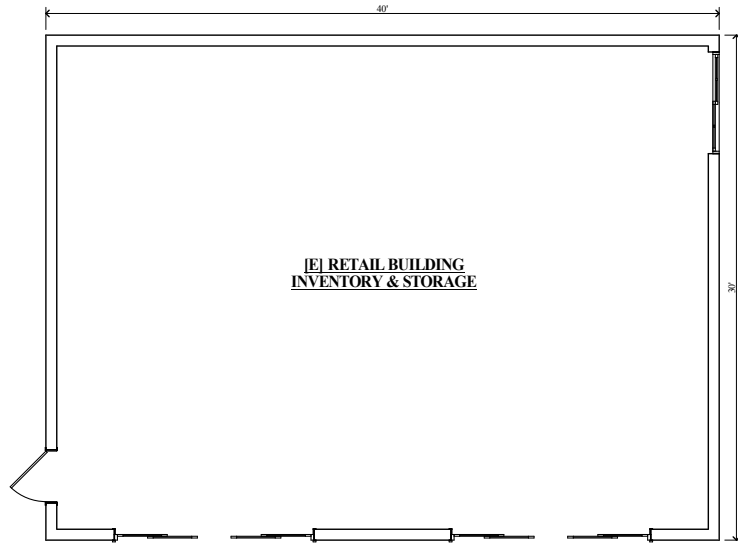


EXISTING FLOOR PLAN FOR THE FILLING STATION, FARMERS CLOSET, & THE LIVING UNIT
SCALE: 3/16" = 1'-0"



STAGE /
GAZEBO

EXISTING STAGE / GAZEBO FLOOR PLAN
SCALE: 3/16" = 1'-0"



EXISTING METAL RETAIL, INVENTORY, & STORAGE BUILDING FLOOR PLAN
SCALE: 3/16" = 1'-0"

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PLANS PREPARED BY:
JAMES GEORGE
PROJECT DESIGNER

REVISIONS:
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PROJECT TITLE:
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FOR: MARK HALL - MANKAS PARTNERS LLC
2529 MANKAS CORNER ROAD
FAIRFIELD, CA. 94534
APN# 151-140-050

APPROVAL STATUS / SEAL

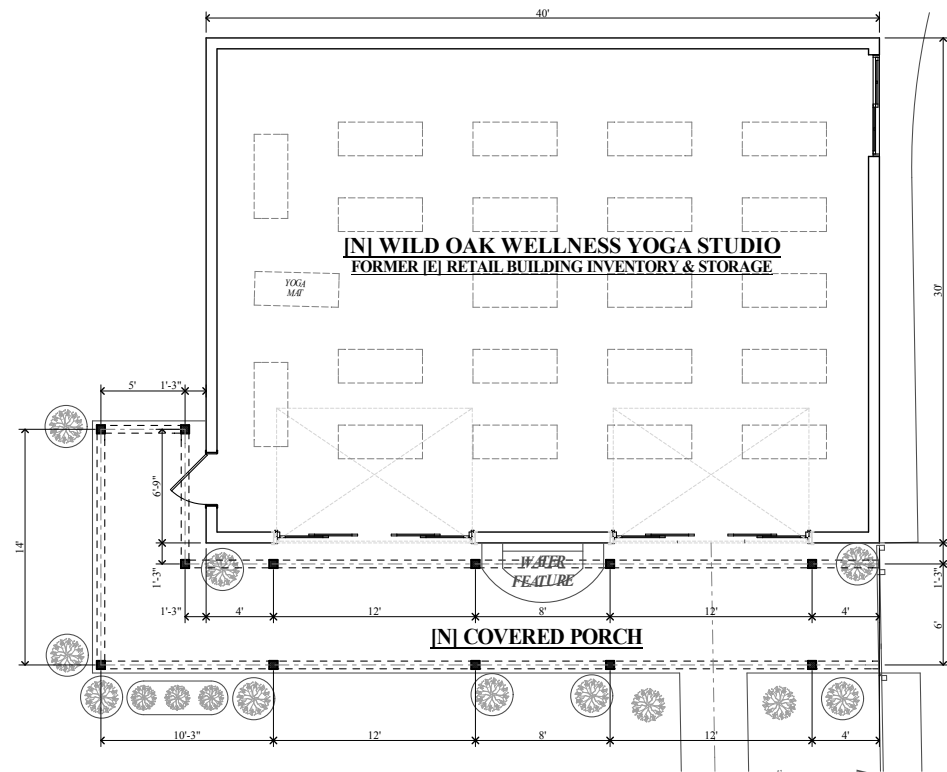
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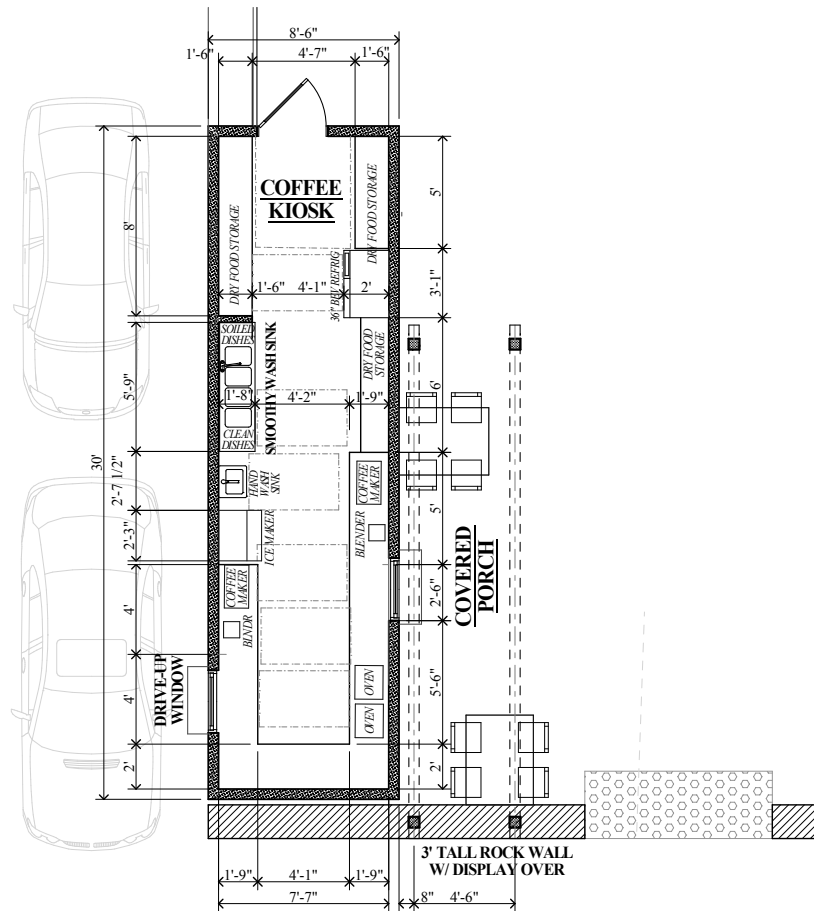
SHEET DESCRIPTION:
**EXISTING
FLOOR PLANS**

SHEET NUMBER:
FLR 1 OF FLR 4
W/ SHEETS TOTAL

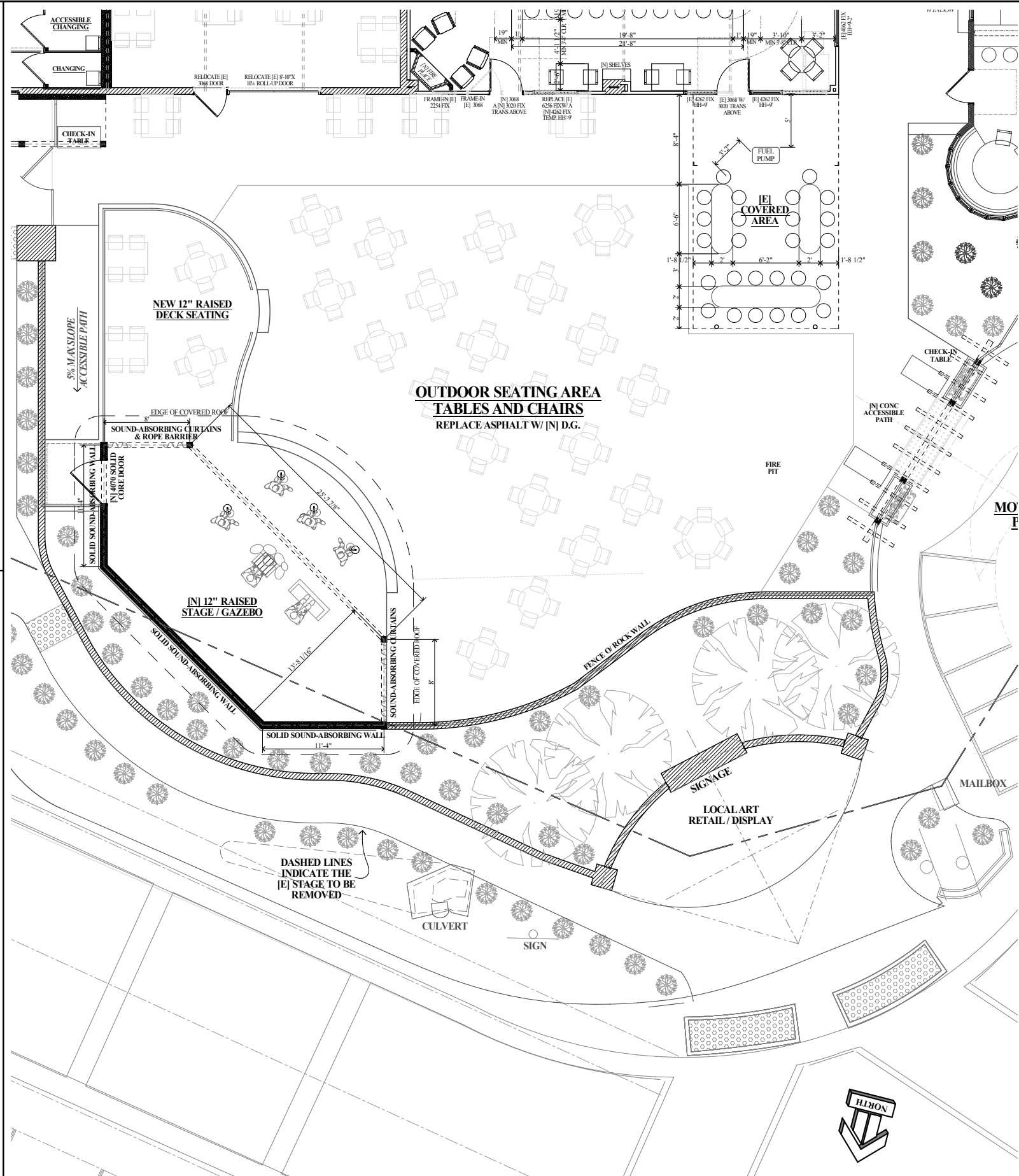
THESE PLANS ARE CONSIDERED PRELIMINARY AND NOT FOR CONSTRUCTION UNLESS THESE PLANS BEAR A WET SIGNATURE OF JAMES GEORGE, ALONG WITH THE GOVERNING AGENCY'S REVIEW SEAL OF APPROVAL AND WET SIGNATURE.



PROPOSED WILD OAK WELLNESS FLOOR PLAN
SCALE: 3/16" = 1'-0"



PROPOSED NEW COFFEE KIOSK FLOOR PLAN
SCALE: 1/4" = 1'-0"



PROPOSED REPLACEMENT STAGE & OUTDOOR SEATING AREA FLOOR PLAN
SCALE: 3/16" = 1'-0"

JAMES GEORGE
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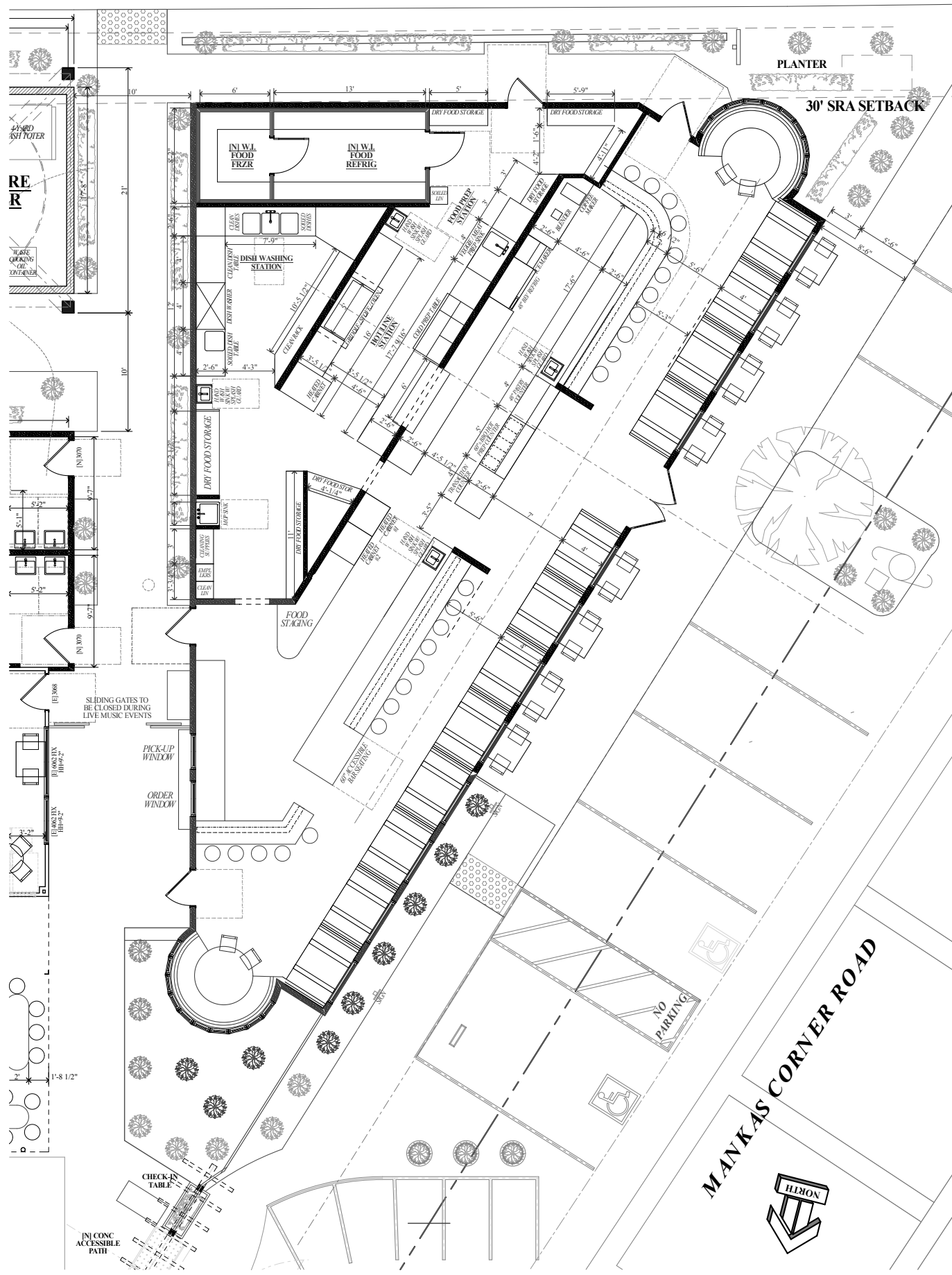
PLANS PREPARED BY:
JAMES GEORGE
PROJECT DESIGNER

REVISIONS:
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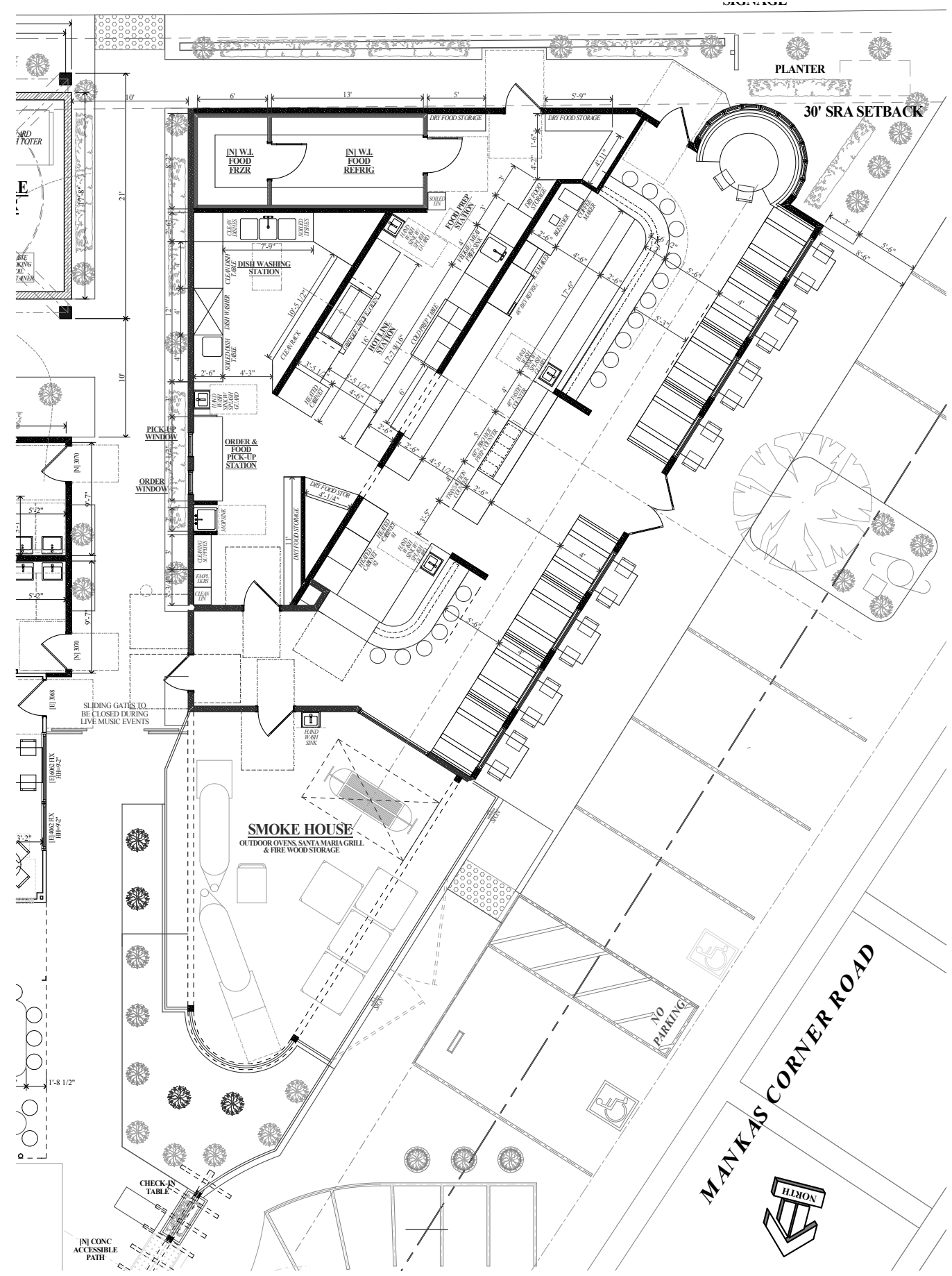
PROJECT TITLE:
MINOR USE PERMIT PLANS
FOR: MARK HALL - MANKAS PARTNERS LLC
2529 MANKAS CORNER ROAD
FAIRFIELD, CA. 94534
APN# 151-140-050

APPROVAL STATUS / SEAL
DATE:
10-9-2025
SCALE:
AS NOTED
SHEET DESCRIPTION:
PROPOSED
FLOOR PLANS
SHEET NUMBER:
FLR 3 OF FLR 4
W/ SHEETS TOTAL

THESE PLANS ARE CONSIDERED PRELIMINARY AND NOT FOR CONSTRUCTION UNLESS THESE PLANS BEAR A WET SIGNATURE OF JAMES GEORGE, ALONG WITH THE GOVERNING AGENCY'S REVIEW SEAL OF APPROVAL AND WET SIGNATURE.



PROPOSED NEW VALLEY CAFE
SCALE: 3/16" = 1'-0"



PROPOSED NEW COUNTRY STYLE BBQ, SMOKE HOUSE, & CAFE
SCALE: 3/16" = 1'-0"

**JAMES GEORGE
DESIGNS**
- INC. -
2529 MANKAS CORNER ROAD
FAIRFIELD, CA 94534
TEL: 707-426-0511
FAX: 707-426-0511
E-MAIL: James@jamesgeorgedesigns.com
JAMESGEORGEDESIGNS.COM

PLANS PREPARED BY:
JAMES GEORGE
PROJECT DESIGNER

REVISIONS:

PROJECT TITLE:
MINOR USE PERMIT PLANS
FOR: MARK HALL - MANKAS PARTNERS LLC
2529 MANKAS CORNER ROAD
FAIRFIELD, CA. 94534
APN# 151-140-050

APPROVAL STATUS / SEAL

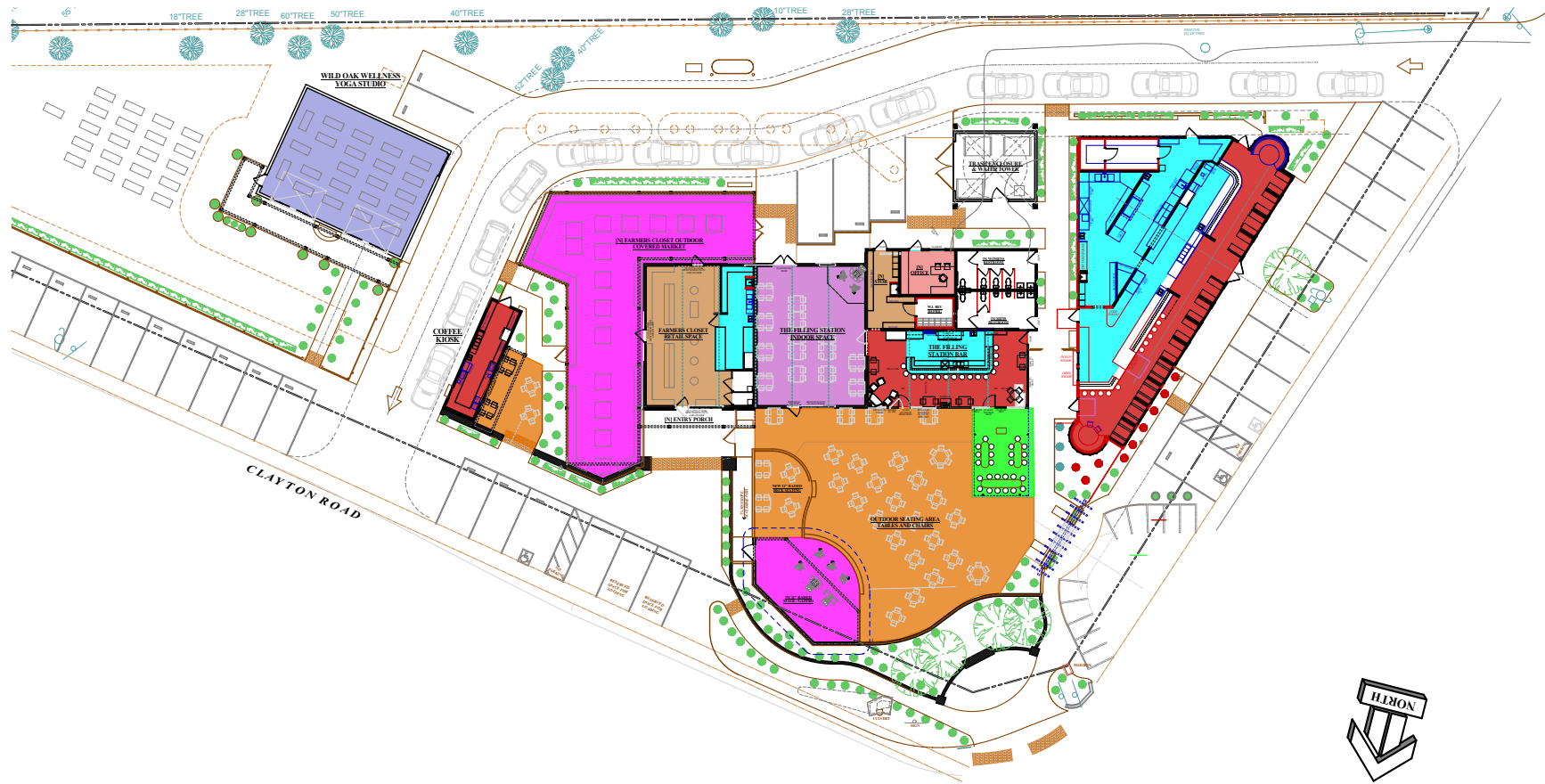
DATE:
10-9-2025

SCALE:
AS NOTED

SHEET DESCRIPTION:
PROPOSED
FLOOR PLANS

SHEET NUMBER:
FLR 4 of **FLR 4**
W/ SHEETS TOTAL

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OCCUPANT LOAD LAYOUT
SCALE: 1" = 20'

OCCUPANCY LOAD TABULATION:

TOTAL PROJECT OVERALL OCCUPANCY LOAD:		464 PEOPLE TOTAL
"A-2" OCCUPANCY TOTAL PROJECT LOAD:	372 PEOPLE TOTAL	
"B" OCCUPANCY LOAD TOTAL PROJECT LOAD:	34 PEOPLE TOTAL	
"M" OCCUPANCY LOAD TOTAL PROJECT LOAD:	44 PEOPLE TOTAL	
"S" OCCUPANCY STORAGE / STOCK PROJECT LOAD:	1 PERSON TOTAL	

SPACE / AREA DESCRIPTION & OCCUPANCY GROUP	FLOOR AREA	FLOOR AREA / OCCUPANT	TOTAL OCCUPANT LOAD	AREA COLOR DESIGNATION
THE FILLING STATION:				
[N] IN-DOOR / ASSEMBLY AREA TABLES & CHAIRS	A-2 512 SQ FT	UNCONCENTRATED TABLES & CHAIRS (15 NET)	34.13 PEOPLE	
[E] OUT-DOOR / COVERED SEATING AREA TABLES & CHAIRS	A-1 495 SQ FT	UNCONCENTRATED TABLES & CHAIRS (15 NET)	33 PEOPLE	
[N] OUT-DOOR / ASSEMBLY AREA TABLES & CHAIRS	A-1 2,770 SQ FT	UNCONCENTRATED TABLES & CHAIRS (15 NET)	18,466 PEOPLE	
PROPOSED [N] GAZEBO / STAGE	A-2 536 SQ FT	UNCONCENTRATED TABLES & CHAIRS (15 NET)	35.73 PEOPLE	
STV BAR EMPLOYEE SPACE / COMMERCIAL KITCHEN	B 232 SQ FT	COMMERCIAL KITCHEN (200 GROSS)	1.16 PEOPLE	
STORAGE / STOCK AREA	S 184 SQ FT	STORAGE STOCK SHIPPING AREAS (300 GROSS)	0.61 PEOPLE	
			TOTAL 290 PEOPLE	
[N] IN-DOOR SEASONAL ASSEMBLY AREAS & CHAIRS ARE A SHALL BE USED FOR STORAGE AND ONLY OPEN TO THE PUBLIC WHEN THE OUTDOOR STAGE AREA IS CLOSED DUE TO WEATHER			6267 PEOPLE THIS SPACE IS LESS RESTRICTIVE THAN THE OUTDOOR SPACE AND NOT INCLUDED IN THE OVERALL OCCUPANT LOAD CALC	
A-1 940 SQ FT	UNCONCENTRATED TABLES & CHAIRS (15 NET)			

NEW CAFE OR CAFE, BBQ & SMOKEHOUSE

(CAFE USED BECAUSE IT IS MORE RESTRICTIVE DUE TO MORE SEATING AREA)

PROPOSED IN-DOOR / ASSEMBLY AREA TABLES & CHAIRS	A-2 978 SQ FT	UNCONCENTRATED TABLES & CHAIRS (15 NET)	65.2 PEOPLE	
INDOOR EMPLOYEE SPACE / COMMERCIAL KITCHEN	B 1,301 SQ FT	COMMERCIAL KITCHEN (200 GROSS)	5.34 PEOPLE	
OUTDOOR EMPLOYEE SPACE / COMMERCIAL KITCHEN	B N/A SQ FT	COMMERCIAL KITCHEN (200 GROSS)		
OFFICE	B 161 SQ FT	OFFICE / B OCCUPANCE AREAS (100 GROSS)	1.61 PEOPLE	
			TOTAL 73 PEOPLE	

FARMERS CLOSET:

INDOOR MERCANTILE SPACE	M 657 SQ FT	MERCANTILE AREAS (60 GROSS)	10.95 PEOPLE	
INDOOR EMPLOYEE SPACE / COMMERCIAL KITCHEN	B 227 SQ FT	COMMERCIAL KITCHEN (200 GROSS)	1.14 PEOPLE	
OUTDOOR MERCANTILE SPACE	M 1,935 SQ FT	MERCANTILE AREAS (60 GROSS)	32.25 PEOPLE	
			TOTAL 45 PEOPLE	

COFFEE KIOSK:

COMMERCIAL KITCHEN	B 221 SQ FT	COMMERCIAL KITCHEN (200 GROSS)	1.12 PEOPLE	
[N] OUT-DOOR / ASSEMBLY AREA TABLES & CHAIRS	A-2 284 SQ FT	UNCONCENTRATED TABLES & CHAIRS (15 NET)	18.93 PEOPLE	
			TOTAL 21 PEOPLE	

YOGA STUDIO:

INDOOR YOGA	B 1,111 SQ FT	MERCANTILE AREAS (30 GROSS)	TOTAL 23 PEOPLE	
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PLUMBING FACILITIES TABULATION:

TOTAL MIN PLUMBING FACILITIES REQUIRED:

TOTAL A-2 OCCUPANCY FLOOR AREA = 5,770 SQ FT

A-2 OCCUPANT LOAD FACTOR = 30 30SF/OCCUPANT (5,770 SQ FT / 30 = 192.33 PEOPLE)

TOTAL B OCCUPANCY FLOOR AREA = 2,096 SQ FT

B OCCUPANT LOAD FACTOR = 20SF/OCCUPANT (2,096 SQ FT / 200 = 10.48 PEOPLE)

TOTAL OCCUPANT LOAD = 192.33 + 10.48 = 202.81

ROUNDED UP = 204 PEOPLE

204 / 2 = 102 MALES & FEMALES

PER TABLE 422.1 2022 CPC A-2 OCCUPANCY

MALE RESTROOM REQUIRES:

2 TOILETS, 1 URINAL, 1 LAVATORY

FEMALE RESTROOM REQUIRES:

4 TOILETS, 1 LAV.

PROJECT PROVIDES

MALE RESTROOMS W/ 2 TOILETS, 2 URINALS, 2 LAVATORIES

FEMALE RESTROOM W/ 4 TOILETS, 2 LAV.

JAMES GEORGE DESIGNS INC.
2529 MANKAS CORNER ROAD
FAIRFIELD, CA 94534
APN# 151-140-050
TEL: 707-756-0577
FAX: 707-756-0577
E-MAIL: James@JamesGeorgeDesigns.com
JAMES GEORGE DESIGNS LLC
JAMES GEORGE DESIGNS LLC
JAMES GEORGE DESIGNS LLC

PLANS PREPARED BY:

JAMES GEORGE
PROJECT DESIGNER

REVISIONS:

PROJECT TITLE:

MINOR USE PERMIT PLANS
FOR: MARK HALL - MANKAS PARTNERS LLC
2529 MANKAS CORNER ROAD
FAIRFIELD, CA 94534
APN# 151-140-050

APPROVAL STATUS / SEAL

DATE:
10-9-2025

SCALE:
AS NOTED

SHEET DESCRIPTION:
**OCCUPANCY
LOAD CALC**

SHEET NUMBER:
OCC1 OF **OCC1**
W/ SHEETS TOTAL

THESE PLANS ARE CONSIDERED PRELIMINARY AND NOT FOR CONSTRUCTION UNLESS THESE PLANS BEAR A WRITTEN SIGNATURE OF JAMES GEORGE, ALONG WITH THE GOVERNING AGENCY'S REVIEW SEAL OF APPROVAL AND WRITTEN SIGNATURE.





















































EXISTING CONDITIONS



Photo 1: Southwestern project site boundary from Mankas Corner Road. The vacant 1,308-sf retail building, located at 2527 Mankas Corner Road is featured.



Photo 2: Western project site boundary from Mankas Corner Road. The Filling Station (25259 Mankas Corner Road) and its outdoor seating and stage are shown in the distance.



Photo 3: Existing Suisun Valley Filling Station outdoor environment.



Photo 4: Existing outdoor seating near the stage at the intersection of Mankas Corner Road and Clayton Road.



Photo 5: Existing Suisun Valley Filling Station façade



Photo 6: Existing Suisun Valley Filling Station Outdoor Stage



Photo 7: The Farmer's Closet Boutique (at 2525 Mankas Corner Road) located adjacent to the Filling Station



Photo 8: The vacant retail building located adjacent to the Farmer's Closet Boutique



Photo 9: Existing Farmer's Closet façade



Photo 10: Existing vacant retail façade (planned for The Farmers Closet & Market).



Photo 11: View behind the vacant retail building, Farmers Closet Boutique, and Filling Station. The apartment to be demolished is located behind the fencing and shown below in **Photo 12:**





Photo 13: Existing Septic Leachfield located behind the Filling Station



Photo 14: The vacant 1,111-sf steel building on Clayton Road to be repurposed for the Wild Oak Wellness (WOW) business.



Photo 15: The area to the east of the vacant 1,111-sf steel building on Clayton Road. This area is to be used for the proposed septic leachfield.



Photo 16: Existing Mankas Corner traffic calming / monumentation signage located in Clayton Road to the northeast of the project site.



Photo 17: The intersection of Gordon Valley Road and Clayton Road. The project proposes a three-way stop sign controlled intersection and a crosswalk for safety.



Photo 18: View of the project site looking west towards Mankas Corner Grill

**The following email
correspondence with the City of
Vallejo Water Department
confirms that they are currently
not allowing any new water
service connections**

From: [John Pena](#)
To: [Mary Laux](#)
Subject: RE: Hello
Date: Tuesday, September 23, 2025 3:34:41 PM
Attachments:

CAUTION: External email. Do not click links or open attachments unless you recognize the sender and know the content is safe.

Caution! This message was sent from outside your organization.

[Report](#)

Hi Mary,

Unfortunately, at this point in time, we can't grant an extension on the will serve letter outlined in this email.

We are currently not allowing any new water service connections to the Lake Water System.

The capacity study analysis has not been performed and will need to be for us to determine if there is any additional capacity and to what extent we can provide.

Please let me know if you have any questions,

Sincerely,

John Peña

Assistant Engineer

City of Vallejo | Water Department

Office: (707) 645-2610 | john.pena@cityofvallejo.net



From: Mary Laux <MaryL@HallEquitiesGroup.com>

Sent: Monday, September 22, 2025 4:52 PM

To: John Pena <John.Pena@cityofvallejo.net>

Subject: RE: Hello

Importance: High

Hi John – could you please let us know one way or another? As a reminder – my original request to your department is shown here:

I am writing to inquire about the attached will-serve letter that you had sent for a proposed hotel project on our property. We are the current owners and are interested in developing some agri-tourism uses on site, consistent with the County's General Plan and the Suisun Valley Strategic Plan. What is the status of your allowance of new water connections? Last I understood your agency was conducting a water demand analysis. Can you please provide an update? Once results from the analysis are available, what would be the next steps be for confirming water availability and service capacity for our project?

Thanks,
Mary

Mary Laux
Vice President, Entitlements

Hall Equities Group - CA-BRE #00241430
[150 N Wiget Ln, Suite 250 | Walnut Creek, CA 94598](#)
T: 925-414-3359 | C: 415-297-9742
E: maryl@hallequitiesgroup.com www.hallequitiesgroup.com



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From: John Pena <John.Pena@cityofvallejo.net>
Sent: Tuesday, September 9, 2025 2:04 PM
To: Mary Laux <MaryL@HallEquitiesGroup.com>
Subject: RE: Hello

CAUTION: External email. Do not click links or open attachments unless you recognize the sender and know the content is safe.

Your email has been received; we will provide you with a response soon.

Thank you,
John Peña
Assistant Engineer
City of Vallejo | Water Department
Office: (707) 645-2610 | john.pena@cityofvallejo.net



The following contract for existing water service provided by the Suisun-Solano Water Authority (SSWA) contains provisions stating that water service is not guaranteed – specifically in Sections 2.1, 5.0 and 7.0 (see highlights).

CONFORMED
BY COUNTY RECORDER

NOV 17 1999

SOLANO COUNTY

OB

This Recording for the Public Benefit
Pursuant to the Provisions of
Government Code Section 6103
Solano Irrigation District

When Recorded Return to:

SUISUN-SOLANO WATER AUTHORITY
508 Elmira Road
Vacaville, California 95688

99- 100021

**AGREEMENT REGARDING TERMS
AND CONDITIONS OF WATER SERVICE
BETWEEN SUISUN-SOLANO WATER AUTHORITY
AND LANDOWNERS
APN 149-180-08**

THIS AGREEMENT is entered into on this 22 day of June, 1999, by and between the **SUISUN-SOLANO WATER AUTHORITY**, hereinafter referred to as "SSWA", and, **MARY A. SIEBE**, as Trustees of the Siebe Family Trust, under Declaration of Trust, dated July 21, 1998, hereinafter referred to as "**Landowners**", as Owners of that real property, hereinafter referred to as "the Land", described in Exhibit "A" attached hereto and included herein as if set forth in full.

This Agreement is entered into for full and adequate consideration, receipt of which is hereby evidenced and the adequacy of which is stipulated to herein.

- 1.0 **Background of Agreement:** There is a historic well within the Rockville area of Solano County and pipelines leading from the well to the SSWA water service area in the City of Suisun City. Water service has been provided from the pipelines to both paying and non-paying customers along its alignment for a number of years. These facilities are described as "the System" and are depicted on Exhibit "B" attached hereto.

1.1. The well requires substantial rehabilitation and replacement, and the water lines are so deteriorated as to be almost unuseable. Back flow prevention devices are a reasonable and legally-required measure to prevent polluting and deleterious materials from entering drinking water. Meters are reasonably required for reasonable conservation of drinking water supplies and to monitor reasonable use.

1.2 The customers of this system and SSWA wish to provide in the terms of this Agreement for the measures to induce SSWA to invest the necessary monies to upgrade the well and pipeline system rather than abandon the system to the landowners, and to provide for the terms and conditions of service from the system hereafter.

1.3 Each of the above Background Facts is true and correct.

2.0 **Number of Connections on Exhibit "A" Lands/Back Flow Prevention Devices:**
Landowners agree that they have the following connections to the SSWA water system to serve the Lands:

<u>Landowner</u>	<u>Size of Connection</u>	<u>Location</u>	<u>Purpose of Connection</u>
Siebe	3/4"	2477 Mankas Corner Road	Residence

Landowners agree that they are not entitled to any additional connections from the SSWA system for the lands.

2.1 Landowners agree that there is no obligation on the part of SSWA to provide for additional water service(s) to the lands or quantitatively to increase the amounts of water previously supplied through the

connection(s). Landowners understand and agree that there may be outages and interruptions in service, and SSWA does not warrant or promise that after the rehabilitation there will be no interruptions or reductions in service. SSWA agrees not to abandon the system prior to January 1, 2011 and Landowner agrees to continue to utilize and pay for water from SSWA's system during the period up to that date. Landowners have been informed of the possibility and agree that the system may be abandoned thereafter by SSWA, in which case SSWA shall quitclaim the pipeline and system, and any right to receive free water under Paragraph 3.2 hereunder shall terminate to the Landowners receiving service from the system.

- 3.0 **Backflow Prevention Devices, Water Meters, and Rates:** Landowner agrees to pay the cost of the backflow prevention device to be installed on the service as set forth in Exhibit C. SSWA will provide at its cost, for the installation of water meters and the backflow prevention devices upon the connections as a portion of its project. Upon the installation of the meter and backflow prevention devices commencing in the following calendar month, a Special Water Service Maintenance Charge to partially recompense SSWA for the costs of the meters, maintenance of the meters and backflow preventers, the system improvements and the improvements to the well and water lines, the maintenance of those improvements and maintenance of the unimproved portions of the system shall be charged and collected in accordance with the normal billing cycle of SSWA. The charge shall initially be at the following rates:

SPECIAL WATER SERVICE MAINTENANCE CHARGE

SIZE OF CONNECTION	CHARGE PER MONTH
¾" connection	\$44.00
1" connection	\$44.00
1½" connection	\$44.00
2" connection	\$44.00

The above charge is referred to as the "Water Service Maintenance Charge" and shall be increased and decreased hereafter in the same proportion as increases or decreases occur in the typical water charges and/or maintenance charges together made by SSWA upon water services of similar capacities within the SSWA service area after the date of execution of this Agreement. By execution of this Agreement, Landowner consents to that charge on its behalf and on behalf of all successors to Landowners who own The Lands and agrees to pay the charge.

3.1 Water Usage Charges in Addition to Special Water Service Maintenance

Charge: In addition to the Special Water Service Maintenance Charge, which will be charged and collected upon each connection to the system, SSWA will charge a water usage charge, which will be one hundred thirty percent (130%) of the combined water and maintenance rates charged for similar sized water services within the SSWA service area for those services within the boundaries of the City of Suisun City as those rates may be established from time to time by SSWA. This additional charge reflects the fact that The Lands do not pay taxes and assessments to the City of Suisun City and the differences in the economics of servicing and maintaining the System.

- 4.0 Landowners understand and agree that after the improvements by SSWA there will continue to be a limited supply of water and a limited instantaneous capacity of the system, and that each Landowner is required to use all reasonable water conservation methods, to schedule the use of water, and all other means to minimize the amounts of water utilized from the system and to maximize the capacity available for the system.
- 5.0 Landowner understands and agrees that there is no covenant or promise that additional services can be provided from the SSWA system to the Land. You should be aware that there is a longstanding agreement referred to as the "SID/City of Fairfield Agreement" limiting the ability of Solano Irrigation District and SSWA to provide water service to land within designated areas which may apply to the lands.
- 6.0 Landowners agree that the rules, regulations and procedures, including delinquency charges, costs of collection of delinquent water rate charges, and other similar procedures and rules adopted and monitored by SSWA from time to time will equally apply to the service of water described herein, and that SSWA will be entitled to its attorneys' fees and costs of collection to enforce these charges and rules if SSWA prevails.
- 7.0 Landowners recognize that only limited fire protection is provided by this water system and that SSWA makes no warranty or representation as to its adequacy or dependability. If Landowners desire a water system that meets all standards for adequate fire protection, then Landowners, at their expense, agree to take all measures reasonably required to provide additional fire protection such as the installation of cisterns, reservoirs or other fire suppression equipment upon their Lands.

- 8.0 As to any Landowners across whose real property the existing pipelines of the System must be replaced as a condition of this Agreement, those Landowners will cooperate in providing without charge and executing easements for the permanent location of the pipeline along the same alignment as the existing pipeline, together with temporary construction easements to provide for access and a working area to complete the installation. The easements will be provided without further charge or expense to SSWA in consideration of this Agreement and of SSWA's agreement to provide for improvements to the water system. SSWA will pay all costs of preparing legal descriptions and recording the instruments upon their execution by Landowner. Landowners will be required to obtain subordinations or consents to this Agreement by the holders of any security interest in the Land.
- 9.0 Landowners, on their behalf and on behalf of all parties who may consume water upon Landowners' property or successors to Landowners in the ownership of interests in the land, hereby waive and give up forever any and all claims of any nature or kind, both known and unknown, which may arise or exist in regard to (1) the right to claim different or additional rights to the provision of water service, (2) any rights to claim that construction or location of the improvements to the water system severed and/or damaged the Lands or interests of Landowners located or constructed upon the lands; provided, however, that SSWA will not be excused hereby from exercising reasonable care in reconstructing, maintaining or repairing or replacing the water System facilities, (3) any claims for losses caused by limitation or interruptions in water service to the Lands occurring in the future or caused by any detrimental constituents within the water supplied, or failure of water production, distribution, or control and monitoring equipment to detect conditions within the water served, and (4) any and all other similar claims, exposures or risks of liability arising from or related to the provision of water from the System.

- 9.1 Landowners execute this Agreement and waiver recognizing that use of water from the SSWA system on the land would not be possible but for the substantial investment and maintenance undertaken by SSWA, which costs will exceed the income that SSWA may ever receive from the system.
- 9.2 In executing this Agreement, Landowners agree that (1) all of the requirements of Proposition 218 relating to the opportunity to vote and approve of the means of collection of standby or other charges have been complied with by SSWA by submission and execution of this Agreement, and (2) Landowners by execution hereof elect and consent under all applicable laws on behalf of the Lands described in Exhibit A to the charges specified in this Agreement as adjusted from time to time by SSWA.
- 10.0 This Agreement is binding upon successors and occupants of the real property described in Exhibit "A" and shall be a covenant running with the land as well as an equitable servitude binding upon owners, holders of interest or occupants therein. This Agreement shall be recorded and benefits and binds the interests in real property of the City of Suisun City underlying the System and SSWA in the form of the interests in real property for the water facilities making up the system and the lands of Landowners described herein. Each party covenants on their behalf and on behalf of their successors that this Agreement may be enforced as a covenant running with the lands described in Exhibit "A" attached hereto by SSWA and the City of Suisun City.
- 11.0 Time is of the essence in the performance of this Agreement.
- 12.0 This Agreement may not be assigned to lands other than those described in Exhibit "A" attached hereto.

13.0 IF ANY DISPUTE SHALL ARISE UNDER THE TERMS AND PROVISIONS OF THIS AGREEMENT, INCLUDING WITHOUT EXCLUDING OTHER DISPUTES, THE QUESTION OF WHETHER THE LANDS ARE ENTITLED TO FREE WATER SERVICE AND FOR WHAT PURPOSE, THE PARTIES HERETO, TOGETHER WITH THE SUCCESSOR LANDOWNERS OR OCCUPANTS OF LANDOWNERS' PROPERTY, SHALL BE BOUND TO PROVIDE FOR ARBITRATION OF THOSE DISPUTES, AND EACH PARTY AND SUCCESSOR HEREBY WAIVE ANY RIGHT TO LITIGATE OR COMMENCE LEGAL ACTION, INCLUDING DEMANDING OR OBTAINING A JURY TRIAL REGARDING THOSE MATTERS EXCEPT TO ENFORCE AN ARBITRATION AWARD HEREUNDER. ARBITRATION SHALL BE ACCOMPLISHED IN ACCORDANCE WITH CIVIL CODE OF PROCEDURE SECTIONS 1280, ET SEQ. THE ARBITRATOR SHALL BE AGREED TO BY THE PARTIES, OR IF THEY CANNOT AGREE, THE ARBITRATOR SHALL BE APPOINTED BY THE SUPERIOR COURT FOR THE COUNTY OF SOLANO AND SHALL BE A PARTY EXPERIENCED IN THE OPERATION, MAINTENANCE AND MANAGEMENT OF WATER SYSTEMS. THE COSTS OF ARBITRATION SHALL BE BORNE ONE-HALF (½) BY SSWA AND ONE-HALF (½) BY THE LANDOWNERS MADE SUBJECT TO THE ARBITRATION. IF A NUMBER OF LANDOWNERS WHOSE PROPERTIES ARE SUBJECT TO AGREEMENTS WITH TERMS SIMILAR TO THIS AGREEMENT ARE INVOLVED IN THE ISSUE IN DISPUTE, THE ARBITRATION SHALL BE CONDUCTED AS ONE PROCEEDING.

LANDOWNERS:

Dated: June 22, 1999

Mary A. Siebe
Mary A. Siebe

Dated: _____

SUISUN SOLANO WATER AUTHORITY:

Dated: OCT 04 1999

Jim Sperring
Jim Sperring, President

Dated: OCT 04 1999

Robert L. Isaac
Robert L. Isaac, Manager

///

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///

NOTARY ACKNOWLEDGEMENTS

State of California)
County of Solano)

On JUNE 22, 1999 before me, DONNA J. POCK, Notary Public,
personally appeared MARY A. STEBE,
~~personally known to me -- OR --~~ proved to me on the basis of satisfactory evidence to be the
person(s) whose name(s) is/are subscribed to the within instrument and acknowledged to me that
~~he/she/they~~ executed the same in ~~his/her/their~~ authorized capacity(ies), and that by ~~his/her/their~~
signature(s) on the instrument the person(s), or the entity upon behalf of which the person(s) acted,
executed the instrument.



WITNESS my hand and official seal.

Donna J. Pock
_____, Notary Public

State of California)
County of Solano)

On _____, 1999 before me, _____, Notary Public,
personally appeared _____,
~~personally known to me -- OR --~~ proved to me on the basis of satisfactory evidence to be the
person(s) whose name(s) is/are subscribed to the within instrument and acknowledged to me that
~~he/she/they~~ executed the same in ~~his/her/their~~ authorized capacity(ies), and that by ~~his/her/their~~
signature(s) on the instrument the person(s), or the entity upon behalf of which the person(s) acted,
executed the instrument.

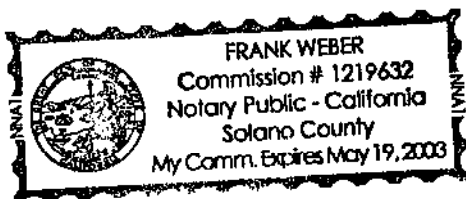
WITNESS my hand and official seal.

_____, Notary Public

State of California)
County of Solano)

On October 4, 1999, before me, Frank Weber, Notary Public, personally appeared James Spering, President of Suisun Solano Water Authority, personally known to me to be the person whose name is subscribed to the within instrument and acknowledged to me that he executed the same in his authorized capacity, and that by his signature on the instrument the person, or the entity upon behalf of which the person acted, executed the instrument.

WITNESS my hand and official seal.

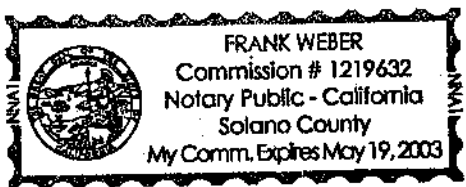


Frank Weber
Frank Weber, Notary Public

State of California)
County of Solano)

On October 4, 1999, before me, Frank Weber, Notary Public, personally appeared Robert L. Isaac, Manager of Suisun Solano Water Authority, personally known to me to be the person whose name is subscribed to the within instrument and acknowledged to me that he executed the same in his authorized capacity, and that by his signature on the instrument the person, or the entity upon behalf of which the person acted, executed the instrument.

WITNESS my hand and official seal.



Frank Weber
Frank Weber, Notary Public

INDEX TO EXHIBITS

EXHIBIT "A"	Deed for Legal Description for Land Claiming Free Water
EXHIBIT "B"	System Diagram of Facilities

RECORDING REQUESTED BY AND
WHEN RECORDED MAIL TO:

GAW, VAN MALE, SMITH,
MYERS & MIROGLIO
A Professional Law Corporation
1261 Travis Blvd, Suite 350
Fairfield, CA 94533

1998-00092619

Recorded By:
ATTNY SHOWN

Official Records
County of Solano
Robert Blechschmidt
Assessor/Recorder

14:08 12-NOV-98

06 RecFee 13.00
SurMon 10.00
NoPCOR
IncFee
DTTax
Check \$ 13.00
OvrSht

AR32 3 Pgs

GRANT DEED

2477 Mankas Corner Road
Suisun, CA 94585

Documentary Transfer Tax
is \$0.00.

APN: 149-180-080; -060



The Grantor, Mary A. Siebe, hereby declares:

1. This transfer is made without consideration and is therefore exempt from Documentary Transfer Tax. (Revenue and Taxation Code Section 11911).

2. This transfer is a "trust transfer" under Section 62 of the Revenue and Taxation Code, i.e., a transfer to a revocable trust, and does not constitute a "change in ownership" for property tax purposes.

NOW THEREFORE, Mary A. Siebe hereby grants to Mary A. Siebe, as Trustee of The Siebe Family Trust, under Declaration of Trust dated July 21, 1998, for the benefit of Mary A. Siebe, that certain real property in the County of Solano, State of California, commonly known as 2477 Mankas Corner Road, Suisun, and more particularly described as follows:

Being the land described under that certain deed recorded on October 13, 1937, Instrument No. 5789, in Book 179, at Page 275, in the Office of the County Recorder of Solano County, State of California, describing land therein as follows:

Beginning at a point on the Westerly line of County Road No.139, which point is 35.05 chains Southerly along the Westerly line of said road from the Southerly line of Lot 9 of the J.C. Wolfskill Subdivision in Suisun Valley, a Map of said Subdivision was filed in the office of the Recorder of Solano County, California, December 15, 1908, thence along the Westerly line of said Road No. 139, S. 4° 15' E. 8.48 chains to County Road No.121, thence along the Northerly line of same S. 56° 05' W. 5.44 chains, thence along the Northerly line of Road No.77, N 84° 05' W. 39.58 chains, thence along the Westerly boundary of County

Road No. 77, N 1° 05' E, 13.28 chains, thence along the West boundary of Suisun Rancho N. 32° 45' E. 18 links to a point which is S 32° 45' W. 43.14 chains from Station 21 of the U.S. Survey of the Suisun Rancho, thence S 81° 52' E. 43.33 chains to the place of beginning, containing 54.45 acres. Also portions of County Roads Nos. 139, 121 and 77 appurtenant to said land.

TOGETHER with all and singular the tenements, hereditaments and appurtenances thereunto belonging, as in anywise appertaining, and the reversion and reversions, remainder and remainders, rents, issues and profits thereof.

EXCEPTING THEREFROM, the land described under that certain deed recorded on June 1, 1964, Instrument No. 15261, in Book 1273, at Page 571, in the Office of the County Recorder of Solano County, State of California, describing land therein as follows:

That certain 3.587 acre parcel of land as delineated on the Map of Record of Survey recorded 30th day of April, 1964, Solano County Records, in Book 8 Records of Surveys, Page 85.

Beginning at a point lying in the Northerly line of County Road Number 77 (Mankas Corner Road), said point lying along said Northerly line North 83° 46' 08" West 41.81 feet from the intersection of said line and the Northwesterly line of County Road No. 139 (50 feet wide); thence along said Northerly line North 83° 46' 08" West 880.82 feet to a point lying in the Southeasterly bank of the East branch of Ledgerwood Creek; thence, across said creek, North 8° 34" West 8 feet to a point lying in the Northwesterly bank of said creek; thence along said Northwesterly bank North 84° 36" East 123.71 feet, North 73° 55' East 141.56 feet, North 32° 33" East 99.74 feet, South 66° 37' East 96.48 feet, North 66° 48' East 67.80 feet, North 89° 42' East 267.86 feet, North 36° 24' East 98.33 feet to a point; thence, South 15° 01' East 359.33 feet, more or less, to the point of beginning, containing 156,229 square feet (3.587 acres) more or less.

ALSO EXCEPTING THEREFROM, the land described under that certain deed recorded on December 7, 1979, as Instrument No. 62447, in Book December 7, 1979, at Page 104880, in the Office of the County Recorder of Solano County, State of California, describing land therein as follows:

Beginning at a point in the Westerly Boundary of the Suisun Rancho lying South 32° 45' West 2847.24 feet (43.14 chains) from Station 21 of the U.S. Survey of the Suisun Rancho; thence, South 81° 52' East 2890.49 feet to the centerline of County Road No. 139; thence, along the centerline of said road South 4° 15' East 142.78 feet to the centerline of the East Branch of Ledgerwood Creek; thence, along the centerline of said creek South 56° 44' West 225.51 feet, South 51° 43' West 264.42 feet to a point; thence, leaving said creek North 17° 41' West 321.45 feet; thence, North 87° 11' West 666.61 feet; thence, South 13° 49' 23" West 603.68 feet to the centerline of the 60 foot wide County Road No. 77; thence, along the said centerline North 83° 55' 05" West 1600.79 feet to a point lying in the Easterly line or County Road No. 82; thence along said Easterly line North 1° 05' East 906.59 to a point lying in the Westerly boundary line of the Suisun Rancho; thence, along said line North 32° 45' East 11.88 feet to the point of beginning, containing 41.17 acres.

Dated: September 8, 1998

Mary A. Siebe
Mary A. Siebe

STATE OF CALIFORNIA)
) ss.
COUNTY OF SOLANO)

On September 8, 1998, before me, the undersigned notary public, personally appeared Mary A. Siebe, personally known to me or proved to me on the basis of satisfactory evidence to be the person whose name is subscribed to the within instrument, and acknowledged to me that the person executed the same in the person's authorized capacity, and that by the person's signature on the instrument the person, or the entity upon behalf of which the person acted, executed the instrument.

WITNESS my hand and official seal.

Co
Notary Public



END OF
DOCUMENT

EXHIBIT "C"

Approximate Cost to Purchase and Install Backflow Preventer

$\frac{3}{4}$ " Service	\$800.00
1" Service	\$850.00
1½" Service	\$900.00
2" Service	\$1,000.00

RESOLUTION NO. 99-05

**A RESOLUTION OF THE SUISUN-SOLANO WATER AUTHORITY
CLARIFYING BOARD INTENT RELATIVE TO AGREEMENTS BETWEEN SUISUN-SOLANO
WATER AUTHORITY AND SUISUN VALLEY WATER SYSTEM LANDOWNERS AND
STATING ITS POSITION RELATIVE TO WATER SERVICE TO THOSE LANDS WHICH DO
NOT SIGN THE AGREEMENT BY JULY 15, 1999**

WHEREAS, the Suisun-Solano Water Authority (SSWA) Executive Committee has circulated two types of Agreements between SSWA and landowners receiving water from SSWA's Suisun Valley Water System (SVWS), one for historic water right holders and one for those without historic water rights; and

WHEREAS, landowners have had 51 days to date to sign and return the Agreement; and

WHEREAS, the intent of SSWA is to link the expenditure of \$215,000 in SSWA Depreciation Funds to upgrade the Suisun Valley Water System with receipt of signed Agreements from landowners which commit them to pay for the annual operations and maintenance of the system, and certain other provisions; and

WHEREAS, on June 11, 1999, the California Department of Health Services notified SSWA that if backflow preventers are not installed on SVWS services which require them by March 2000, they will issue a citation and possibly a fine to SSWA; and

WHEREAS, as of the time of this meeting, 11 of 26 Agreements have been signed and delivered to SSWA; and

WHEREAS, SSWA has received some landowner comments regarding the content of the Agreements and found some of these comments to be meritorious and went through a thorough process of considering the forms of Agreement with the SVWS Advisory Committee before issuing the documents for signature, and it is necessary to have a degree of uniformity between services located outside the District and City boundaries in this area, and in other areas; and

WHEREAS, the SSWA Board of Directors clarifies the intent of the following sections of the Agreements:

Section 2.1. It is SSWA's intent that before SSWA would consider abandonment of the Suisun Valley Water System on or after January 1, 2011, it would provide at least 12 months notification to the landowners on the system.

Section 3.0. It is SSWA's intent that if there are any landowners who do not need a Backflow Preventor as determined by qualified SSWA staff, they will not be required to pay for one.

AND, WHEREAS, SSWA wishes to bring to a conclusion, the long process of forging an Agreement between SSWA and the SVWS landowners and believes that ample time and assistance have been provided to the landowners regarding the Agreement.

RESOLUTION NO. 99-05

**A RESOLUTION OF THE SUISUN-SOLANO WATER AUTHORITY
CLARIFYING BOARD INTENT RELATIVE TO AGREEMENTS BETWEEN SUISUN-SOLANO
WATER AUTHORITY AND SUISUN VALLEY WATER SYSTEM LANDOWNERS AND
STATING ITS POSITION RELATIVE TO WATER SERVICE TO THOSE LANDS WHICH DO
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WHEREAS, landowners have had 51 days to date to sign and return the Agreement;
and

WHEREAS, the intent of SSWA is to link the expenditure of \$215,000 in SSWA Depreciation Funds to upgrade the Suisun Valley Water System with receipt of signed Agreements from landowners which commit them to pay for the annual operations and maintenance of the system, and certain other provisions; and

WHEREAS, on June 11, 1999, the California Department of Health Services notified SSWA that if backflow preventers are not installed on SVWS services which require them by March 2000, they will issue a citation and possibly a fine to SSWA; and

WHEREAS, as of the time of this meeting, 11 of 26 Agreements have been signed and delivered to SSWA; and

WHEREAS, SSWA has received some landowner comments regarding the content of the Agreements and found some of these comments to be meritorious and went through a thorough process of considering the forms of Agreement with the SVWS Advisory Committee before issuing the documents for signature, and it is necessary to have a degree of uniformity between services located outside the District and City boundaries in this area, and in other areas; and

WHEREAS, the SSWA Board of Directors clarifies the intent of the following sections of the Agreements:

Section 2.1. It is SSWA's intent that before SSWA would consider abandonment of the Suisun Valley Water System on or after January 1, 2011, it would provide at least 12 months notification to the landowners on the system.

Section 3.0. It is SSWA's intent that if there are any landowners who do not need a Backflow Preventor as determined by qualified SSWA staff, they will not be required to pay for one.

AND, WHEREAS, SSWA wishes to bring to a conclusion, the long process of forging an Agreement between SSWA and the SVWS landowners and believes that ample time and assistance have been provided to the landowners regarding the Agreement.

NOW THEREFORE BE IT RESOLVED:

That the SSWA Board approves the content of the two types of Agreements that were distributed to the landowners 51 days ago, and clarifies the intent of the Agreements as described above; and

In order to encourage the remaining 15 landowners to sign the Agreements and return them so that the SVWS upgrade project can begin, the SSWA Board declares the following:

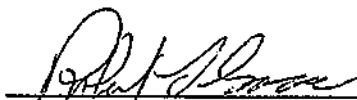
1. For landowners with a non-domestic connection to the SVWS, and who use less than 22 units of water in a bimonthly period, they will not have to pay the \$88 bimonthly "Special Water Service Maintenance Charge." Non-domestic is defined as not being used in the house or for residential landscaping (an example would be a cattle trough). They will, however, pay the bimonthly water base charge like all other customers.
2. Should some customers drop off the SVWS, thereby possibly creating greater annual operations and maintenance costs for the remaining landowners, SSWA will be reasonable about the redistribution of these costs to the remaining landowners.
3. Landowners will have an extension until July 15, 1999, to sign the Agreement. For those who do not meet this deadline, their water service will be terminated before the California Department of Health Services mandated deadline in the year 2000 to install backflow preventers on all services requiring them on the SVWS.
4. One day after the July 15th deadline, if two-thirds (18) of the Agreements have been signed and delivered to SSWA, staff are authorized to begin the already approved Upgrade Project. If two-thirds are not received by that date, the SSWA Board will meet soon thereafter to consider its options.
5. Staff are directed to mail this Resolution and a cover letter to all SVWS landowners on July 1, 1999, by certified mail.

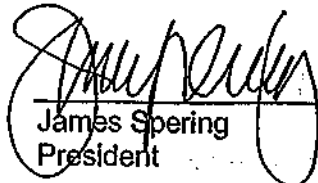
PASSED AND ADOPTED THE 30TH DAY OF JUNE, 1999, BY THE FOLLOWING VOTE:

AYES:	Spering, Sanchez, Day, Maginnis, Currey, Caligiuri, Hansen, Colla
NOES:	None
ABSENT:	Rundlett, Segala
ABSTAIN:	None

ATTEST:

I hereby certify that the foregoing Resolution was duly made, seconded and adopted by the Board of Directors of the Suisun-Solano Water Authority at a regular meeting of this Board held June 30, 1999.


Robert L. Isaac
General Manager/SSWA


James Spering
President

This Recording for the Public Benefit
Pursuant to the Provisions of
Government Code Section 6103
Solano Irrigation District

1999-00087470

Recorded By:

SID

03 RecFee
SurMon
NoPCOR
IncFee
DTTax
Free \$. 0
OvrSht

When Recorded Return to:

Official Records
County of Solano
Robert Blechschmidt
Assessor/Recorder

SUISUN-SOLANO WATER AUTHORITY
508 Elmira Road
Vacaville, California 95688

15:08 06-OCT-99 AR29 19 Pgs

**AGREEMENT REGARDING TERMS
AND CONDITIONS OF WATER SERVICE
BETWEEN SUISUN-SOLANO WATER AUTHORITY
AND LANDOWNERS HOLDING
RIGHTS TO AMOUNTS OF WATER WITHOUT CHARGE
APN 151-140-03**

THIS AGREEMENT is entered into on this 21 day of JUNE, 1999, by and between the **SUISUN-SOLANO WATER AUTHORITY**, hereinafter referred to as "SSWA", and, **V. SATTUI WINERY, INC.**, a California Corporation, hereinafter referred to as "**Landowners**", as Owners of that real property, hereinafter referred to as "the Land", described in Exhibit "A" attached hereto and included herein as if set forth in full.

This Agreement is entered into for full and adequate consideration, receipt of which is hereby evidenced and the adequacy of which is stipulated to herein.

- 1.0 **Background of Agreement:** There is a historic well within the Rockville area of Solano County and pipelines leading from the well to the SSWA water service area in the City of Suisun City. Water service has been provided from the pipelines to both paying and non-paying customers along its alignment for a number of years. These facilities are described as "the System" and are depicted on Exhibit "B" attached hereto.